

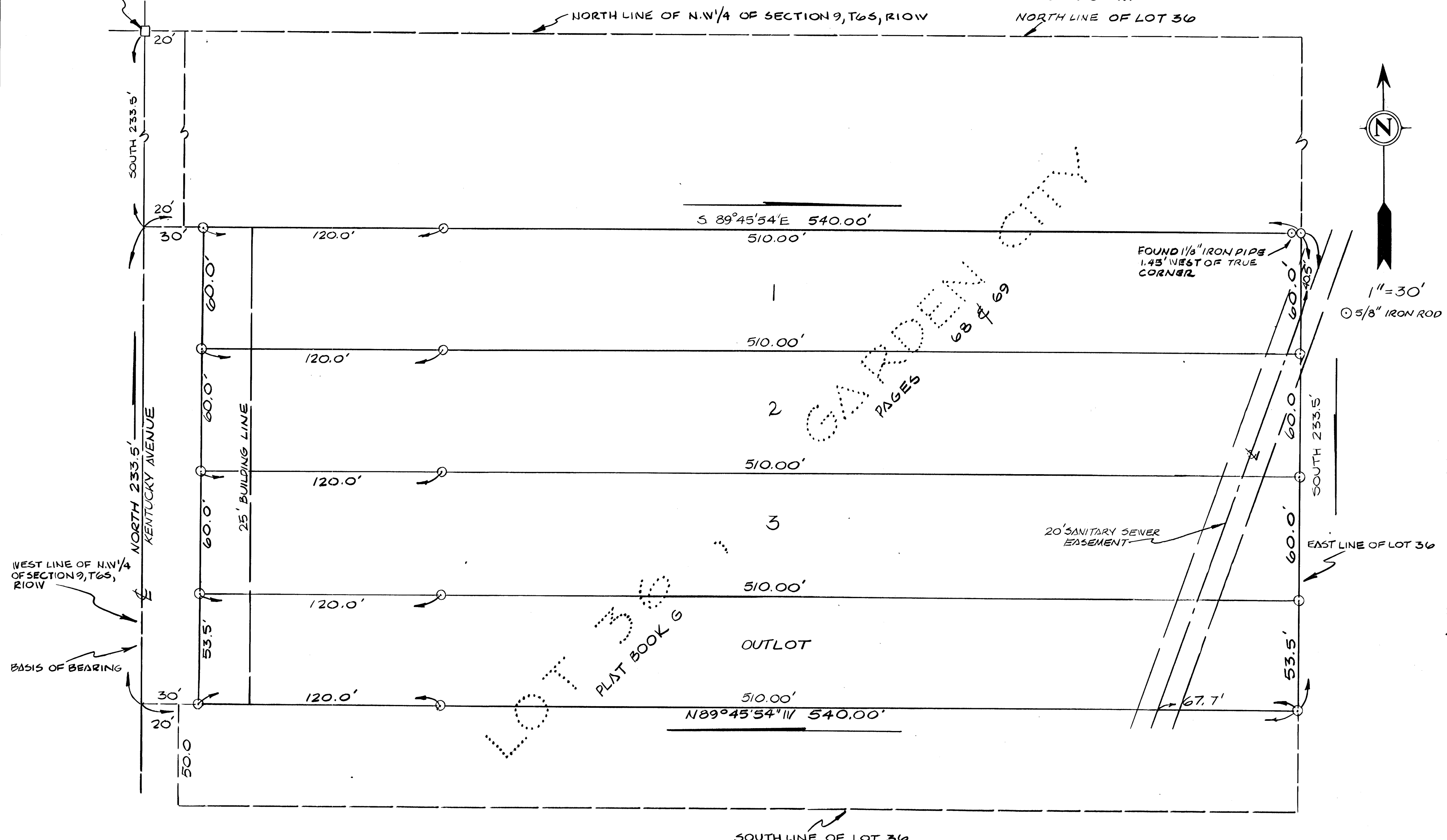
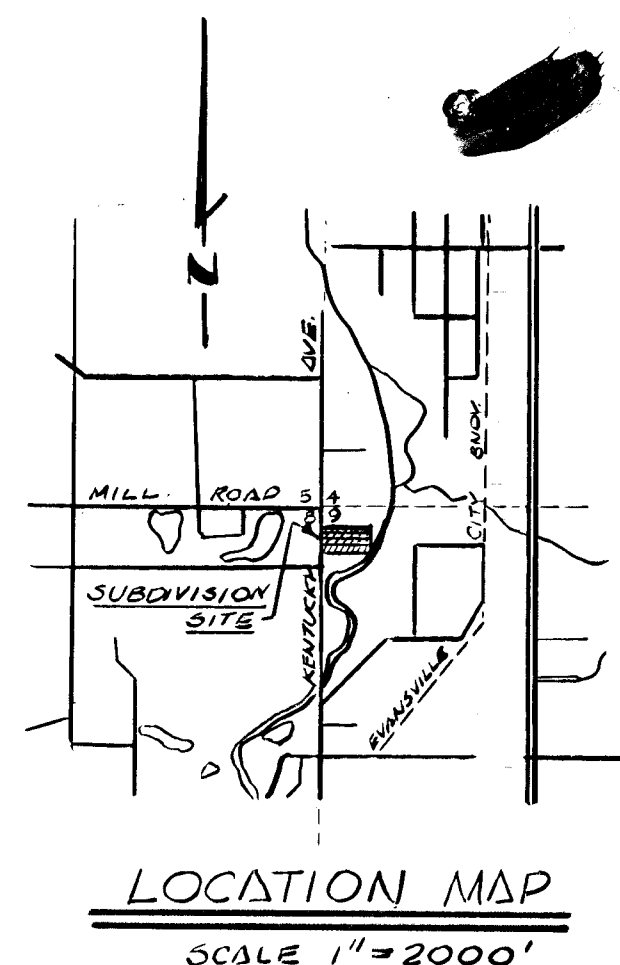
FOUND 1/8" I.R. N.W. CORNER OF N.W. 1/4 OF SECTION 9, T6S, R10W

ANDERSON SUBDIVISION

TRACT NO. 9-6-10-(1)

RECEIVED FOR RECORD
at 3:15 P.M.
July 14, 1972
Recorded in Plat Book G, Page 68 & 69
Page 144
ALICE "BOBBY" COLE, JR., RECORDER
VANDERBURGH COUNTY

DULY ENTERED for TAXATION
JUL 14 1972
Lewis F. Hoge
AUDITOR



LEGAL DESCRIPTION

PART OF LOT 36 OF GARDEN CITY, A SUBDIVISION IN THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 6 SOUTH, RANGE 10 WEST, VANDERBURGH COUNTY, INDIANA, AS PER PLAT RECORDED IN PLAT BOOK G, PAGES 68 AND 69 IN THE OFFICE OF THE RECORDER OF VANDERBURGH COUNTY, INDIANA, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT IN THE WEST LINE OF SAID NORTHWEST QUARTER, SAID POINT BEING DISTANT SOUTH 233.50' FROM THE NORTHWEST CORNER OF SAID NORTHWEST QUARTER; THENCE PARALLEL WITH THE NORTH LINE OF SAID NORTHWEST QUARTER, SAID NORTH LINE ALSO BEING THE NORTH LINE OF SAID LOT 36,
1ST: S 89°45'54" E 540.00' TO A POINT IN THE EAST LINE OF SAID LOT 36; THENCE, ALONG SAID EAST LINE,
2ND: SOUTH 233.50'; THENCE, PARALLEL WITH SAID NORTH LINE OF SAID NORTHWEST QUARTER,
3RD: N 89°45'54" W 540.00' TO A POINT IN SAID WEST LINE OF SAID NORTHWEST QUARTER; THENCE, ALONG SAID WEST LINE,
4TH: NORTH 233.50' TO THE POINT OF BEGINNING.

NOTE: ANY BUILDING CONSTRUCTED IN THIS SUBDIVISION SHALL HAVE THE ELEVATION OF THE FIRST FLOOR NOT LOWER THAN 380.74 BASED ON MEAN SEA LEVEL DATUM.

OWNERS' CERTIFICATE

We, the undersigned owners of the real estate shown and described herein, do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide the said real estate in accordance with the within plat. All streets and alleys shown and not heretofore dedicated, are hereby dedicated to the public. Front and side yard building setback lines are hereby established as shown on this plat, between which lines and the property lines of the street, there shall be erected or maintained no buildings or structures. Strips of ground of the width as shown on this plat and marked "easement" are hereby reserved for the use of public utilities for the installation of water, sewer mains, surface water drainage, poles, ducts, lines and wires, subject at all times to the proper authorities and to the easement herein reserved. No structures are to be erected or maintained upon said strips of land but owners in this subdivision shall take their titles subject to the rights of the public utilities.

Paul R. Anderson
PAUL R. ANDERSON

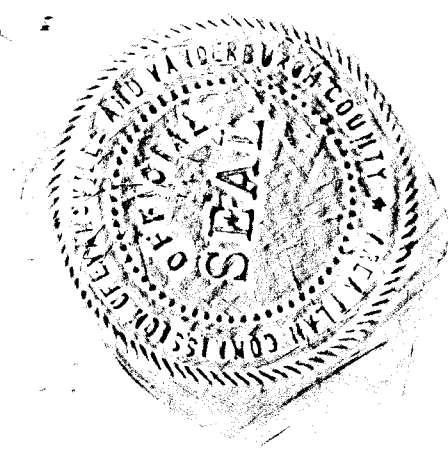
Eldora Anderson
ELDORA ANDERSON

APPROVAL CERTIFICATE

Approval Certificate of Area Plan Commission of Evansville and Vanderburgh County, Indiana Under authority provided by chapter 138-acts of 1957, as amended, of the General Assembly of the State of Indiana, and an ordinance adopted by the common council of the city of Evansville and an ordinance adopted by the board of county commissioners Vanderburgh County, Indiana. the plat was given approval as follows:

Approved by the Area Plan Commission of Evansville and Vanderburgh County, Indiana at a meeting held on... JUNE 13, 1972...

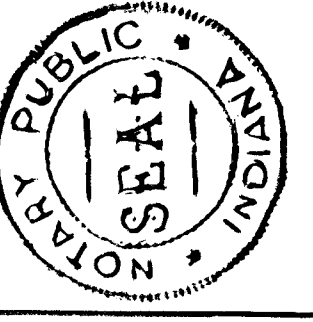
Plat Release-County Auditors Certificate Received
PRESIDENT: [Signature]
SECRETARY: [Signature]
DATE: July 14, 1972



NOTARY CERTIFICATE

State of Indiana
County of Vanderburgh ss:
Before me, the undersigned, a Notary Public in and for said County and State, personally appeared the said Owners and Subdividers, who acknowledge the execution of foregoing plat with the dedications and restrictions thereon, express to be their voluntary act and deed for the uses and purposes therein set forth.

Witness my hand and Notarial Seal this... day of...
My Commission expires... Notary Public



SURVEYOR'S CERTIFICATE

I, Ralph A. Easley Jr., hereby certify that I am a professional land surveyor, licensed in compliance with the laws of the State of Indiana; that the plat correctly represents a survey completed by me on May 24, 1972; that all the monuments shown thereon actually exist; and that their location, size, type, and material are accurately shown.

SEAL: [Signature]
Ralph A. Easley Jr.
Ind. Reg. No. 30006

