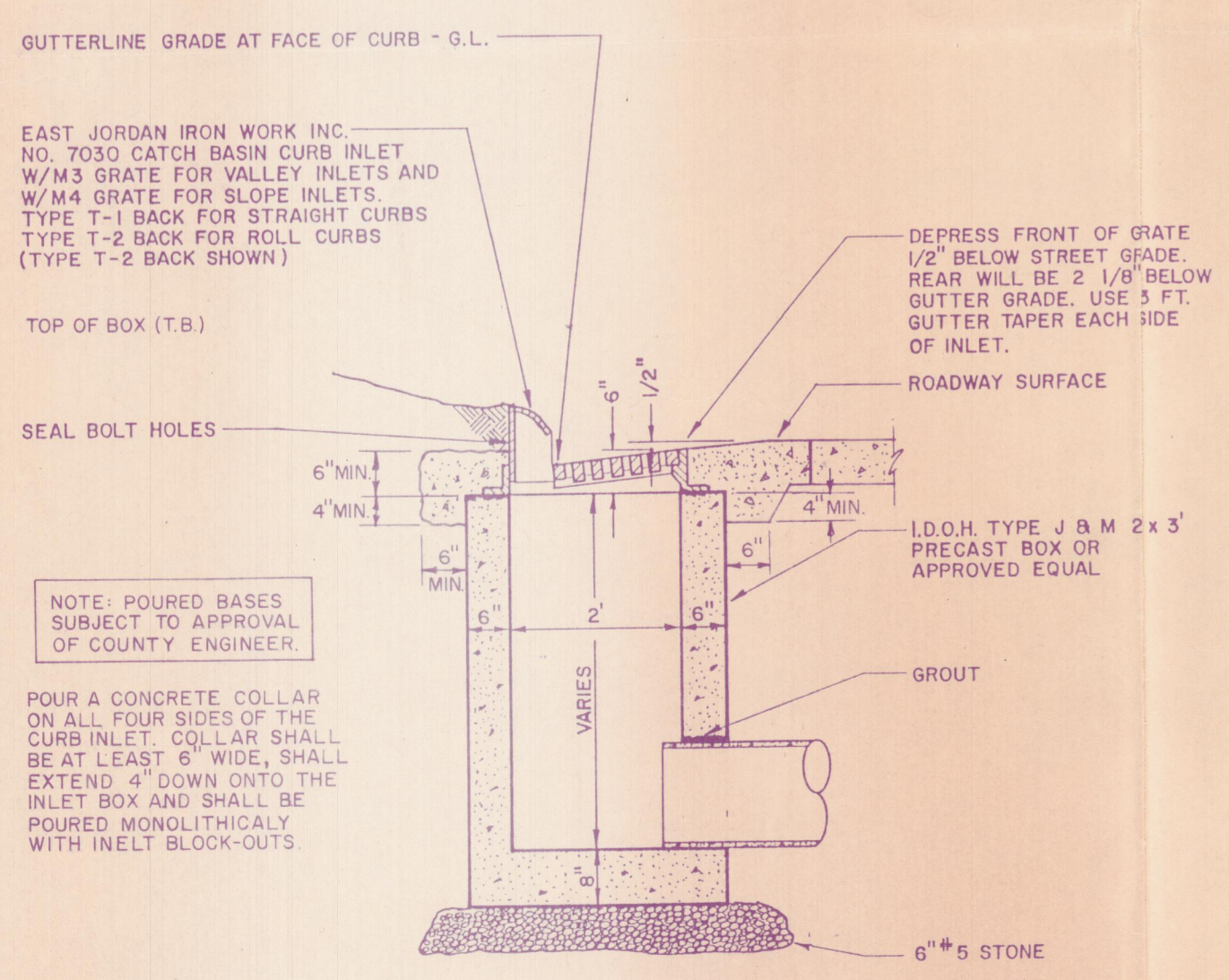


MAX. FLOW FROM EXIST. LAKE OUTLET = 10 CFS

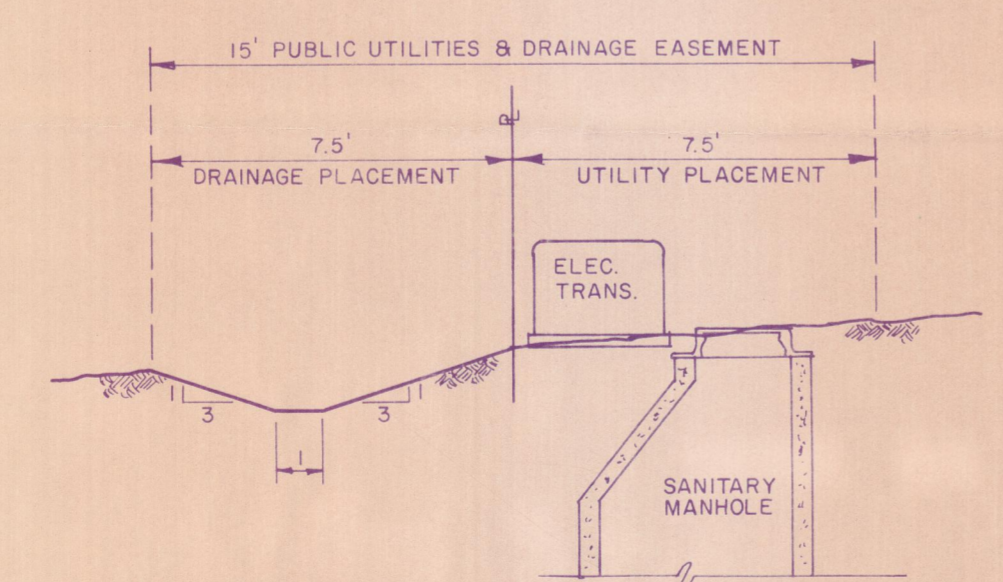
10' DRAINAGE EASEMENT CENTERED ON PROPERTY LINE (TYP. UNLESS NOTED OTHERWISE)

NOTES:

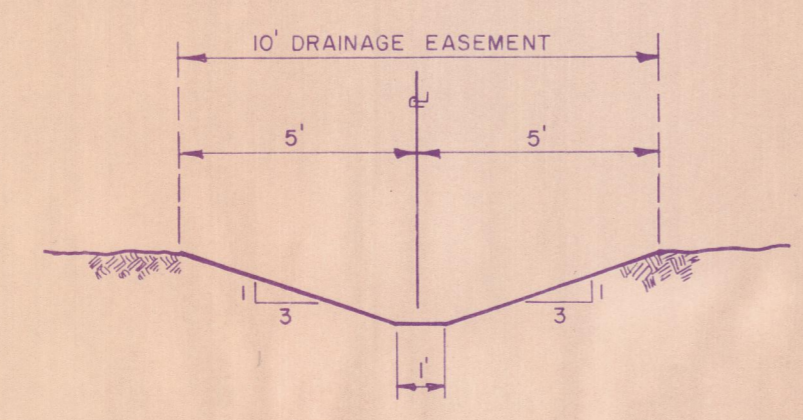
- STORM DRAINAGE SYSTEM TO BE IN TEMPORARY SERVICE FOR SITE DRAINAGE DURING CONSTRUCTION AND MUST BE CLEANED BEFORE CONSIDERATION FOR MAINTENANCE ACCEPTANCE.
  - ALL PIPE TO BE CLASS III REINFORCED CONCRETE PIPE. 12" RCP MAY BE JOINTED WITH MASTIC. ALL RCP LARGER THAN 12" SHALL BE JOINTED WITH O-RING GASKETS.
  - ALL CURB INLETS TO BE EAST JOURDAN #7030 OR APPROVED EQUAL.
  - ALL ROADWAY CROSSINGS TO BE BACKFILLED WITH SAND IN ACCORDANCE WITH COUNTY HIGHWAY STANDARDS.
  - CONTRACTOR TO CONSTRUCT INDIVIDUAL LOT SWALES WHERE NECESSARY TO PREVENT DRAINAGE ACROSS LOT LINES.
- EROSION CONTROL FOR DITCHES:**
- SLOPES OF 0% TO 2% SHALL BE MULCHED AND SEEDED WITHIN 45 DAYS OF DISTURBANCE.
  - SLOPES OF 2% TO 8% SHALL BE SODDED OR STABILIZED WITH AN EROSION CONTROL MAT AT COMPLETION OF DITCH GRADING.
  - SLOPES OVER 8% REQUIRE RIPRAP OR OTHER APPROVED STABILIZATION AT COMPLETION OF DITCH GRADING IF THE TOTAL DITCH LENGTH AT THAT POINT IS GREATER THAN 100 FEET.
- PUBLIC UTILITY AND DRAINAGE EASEMENTS:**
- THE PUBLIC UTILITY AND DRAINAGE EASEMENTS ARE CENTERED ALONG THE PROPERTY LINES, UNLESS OTHERWISE NOTED.
  - INDIVIDUAL LOT OWNERS SHALL NOT CONSTRUCT OR PLACE ANY OBSTRUCTION WITHIN ANY PUBLIC DRAINAGE EASEMENT WHICH WILL INTERFERE WITH THE FLOW OF SURFACE WATER ALONG DRAINAGE EASEMENTS.
- MINIMUM FIRST FLOOR ELEVATION: FIRST FLOOR GRADES SHALL BE A MINIMUM OF 1'-4" ABOVE THE TOP OF THE CURB IF THE LAWN DRAINS ACROSS THE CURB, OR 1'-2" ABOVE THE HIGH POINT OF A DRAINAGE SWALE AROUND THE HOUSE, OR 2' ABOVE THE 100 YEAR FLOOD ELEVATION FOR LOTS WITHIN THE FLOOD PLAIN.
  - 100 YEAR FLOOD ELEVATION: FLOOD ELEVATIONS APPROVED BY COUNTY BUILDING COMMISSIONER VARY FROM 389.5 AT MT. PLEASANT ROAD TO 388.5 AT THE SOUTH SIDE OF LOT 39. MINIMUM FINISH FLOOR ELEVATIONS ARE SHOWN ON THE LOTS WITHIN THE FLOOD PLAIN.



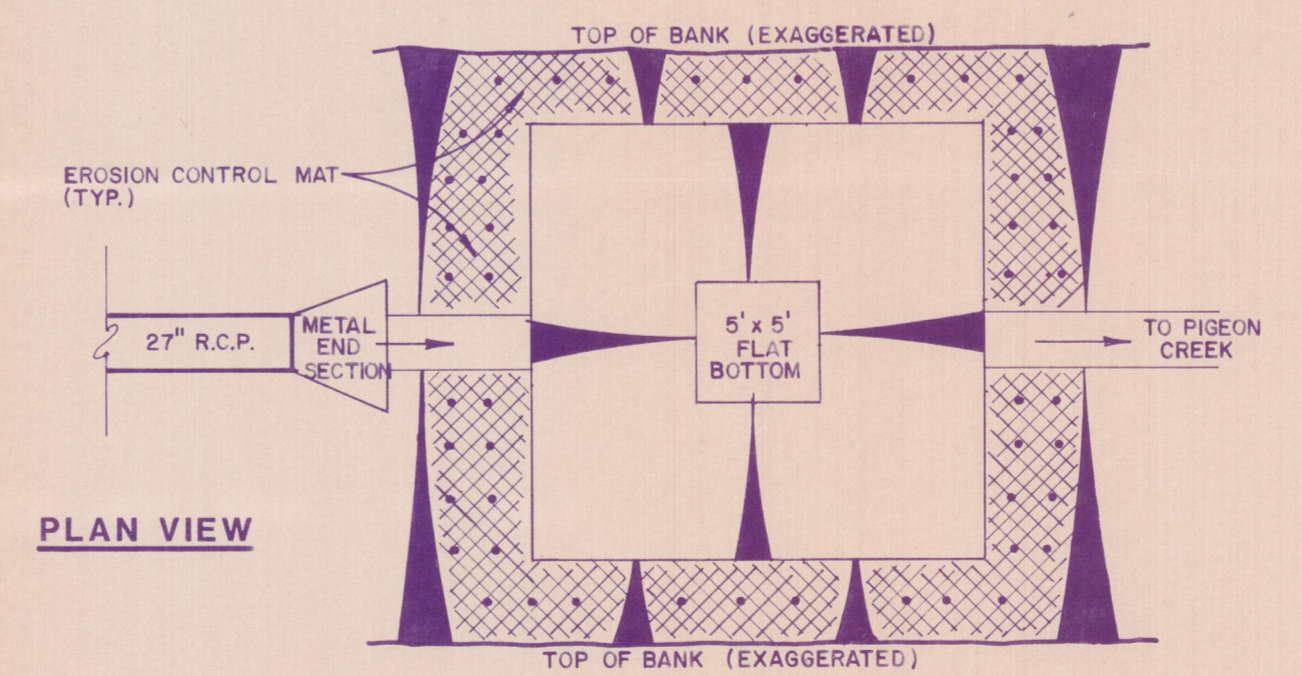
**CURB INLET DETAIL**  
SCALE: 1/2" : 1'-0"



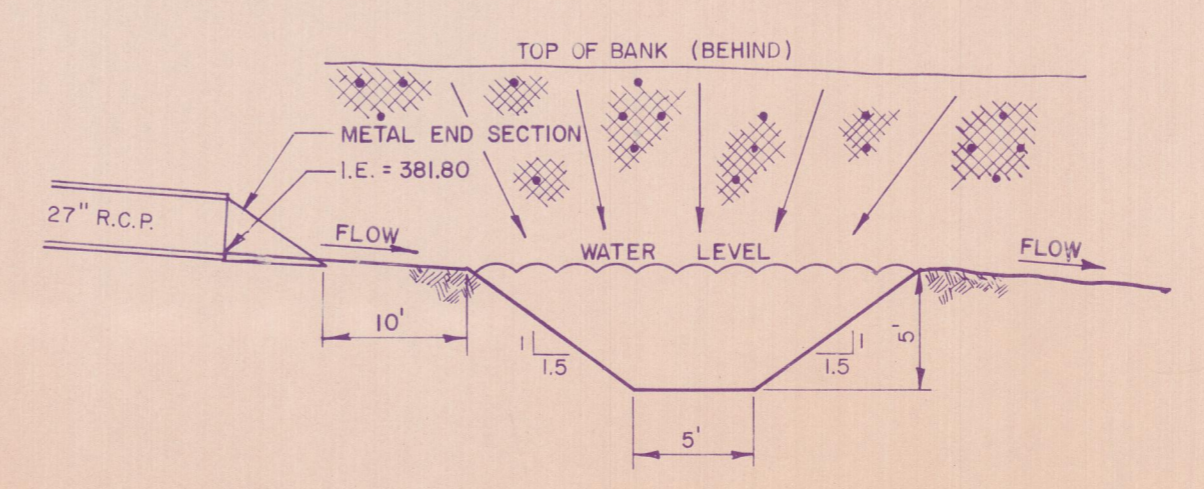
**TYPICAL LOT SWALE (UTILITIES & DRAIN. ESMT.)**  
SCALE: 1/4" : 1'



**TYPICAL LOT SWALE (DRAIN ESMT. ONLY)**  
SCALE: 1/4" : 1'



**PLAN VIEW**



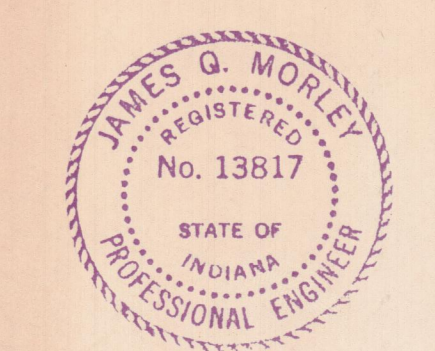
**TEMP. SEDIMENT TRAP (SECTION)**  
SCALE: 1/8" : 1'

Rev.	By	Date	Description
1	DWA	11/18/25	UPDATE NOTES, ADD METAL END SECTIONS TO 12\"/>

**Morley and Associates, INC.**  
CONSULTING ENGINEERS / LAND SURVEYORS  
605 S.E. SEVENTH STREET / EVANSVILLE, INDIANA 47713 / (812) 464-9585

**DRAINAGE PLAN,  
STORM SEWER  
INDEX & DETAILS**

Scale: 1"=60'  
Drawn By: JDW/MLR/DWN  
Checked By: KJP  
Date: 9-7-25  
Project No: ES-1649-4



Sheet No.

D-1

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