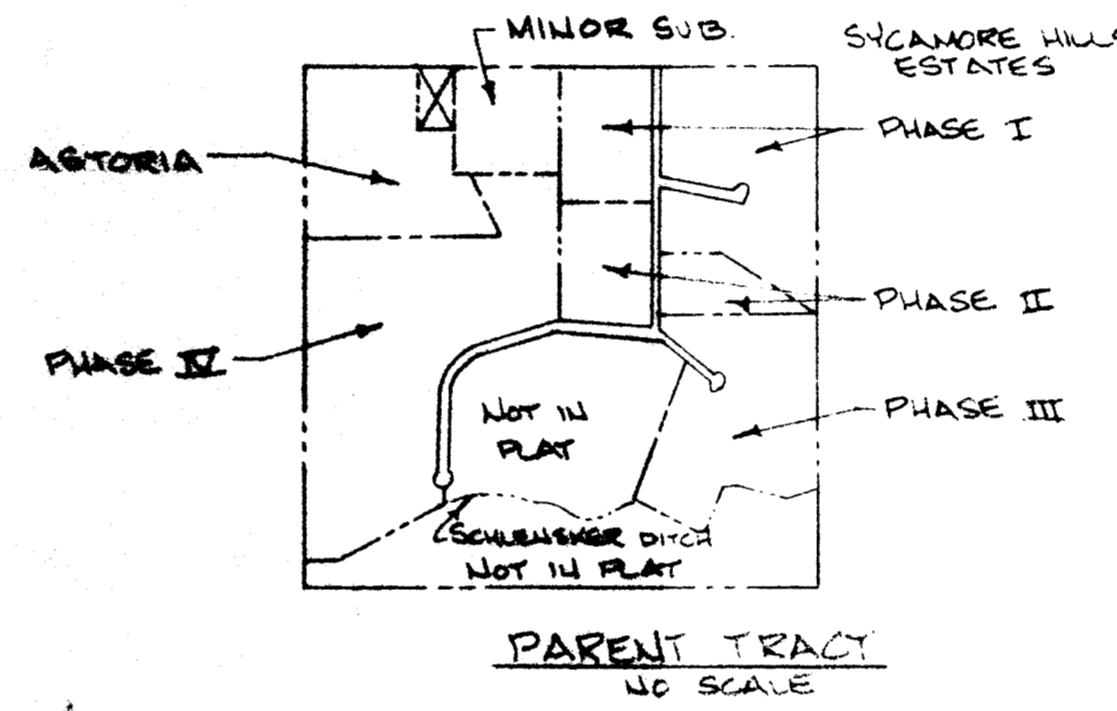
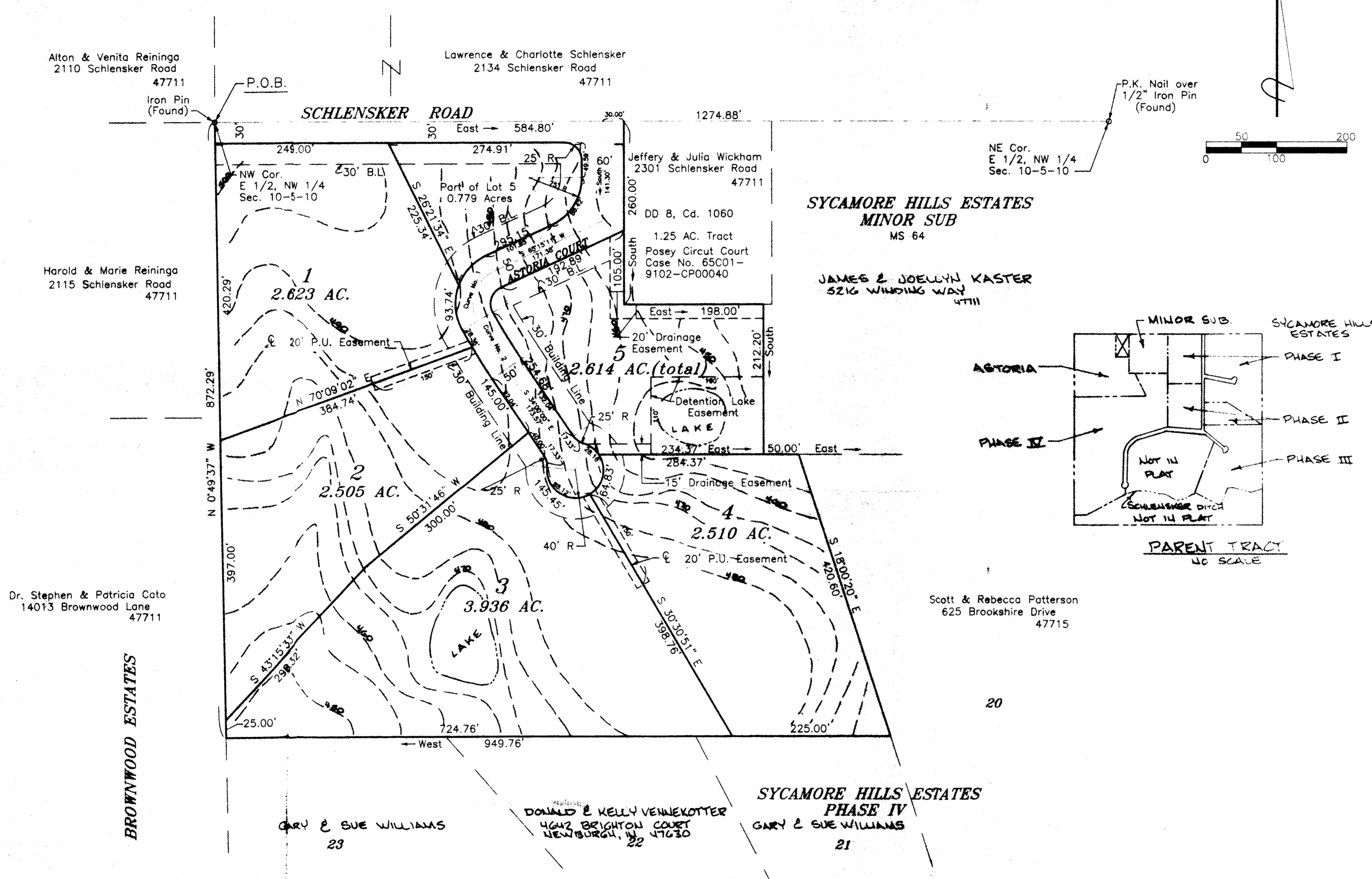


RECEIVED

AREA PLAN COMMISSION

# ASTORIA



CURVE DATA						
Curve No. 1			Curve No. 2			
	Inside	Centerline	Outside	Inside	Centerline	Outside
R	25.00'	50.00'	75.00'	925.00'	950.00'	975.00'
Δ	94°28'28"	94°28'28"	94°28'28"	4°46'43"	4°46'43"	4°46'43"
T	27.03'	54.07'	81.10'	38.60'	39.64'	40.68'
L	41.22'	82.44'	123.67'	77.15'	79.23'	81.32'

A Subdivision of part of the East Half of the Northwest Quarter of Section 10, Township 5 South, Range 10 West, Vanderburgh County, Indiana described as follows:

Beginning at the Northwest corner of the East Half of the Northwest Quarter of said Section 10, thence North 90 degrees 00 minutes 00 seconds East along the North Line thereof a distance of 584.80 feet to the Northwest corner of a 1.25 Acre Tract as set by Posey Circuit Court Order Case No. 65C01-9102-CP00040 and recorded in Deed Drawer 8, Card 1060 in the Office of the Recorder of Vanderburgh County, thence South 0 degrees 00 minutes 00 seconds East along the West line of said 1.25 Acre Tract a distance of 260.00 feet to the Southwest corner thereof, thence North 90 degrees 00 minutes 00 seconds East along the South line thereof a distance of 198.00 feet to the West line of Lot 1 in Sycamore Hills Estates Minor Subdivision as recorded in MS 64 in said Recorder's Office, thence South 0 degrees 00 minutes 00 seconds East along said West line a distance of 212.20 feet to the Southwest corner thereof, thence North 90 degrees 00 minutes 00 seconds East along the South line thereof a distance of 50.00 feet to the Northwest corner of Lot 20 in the Replat of Lots 20 through 26 of Sycamore Hills Estates Phase IV, thence South 18 degrees 00 minutes 20 seconds East along the West line of said Lot 20 a distance of 420.60 feet, thence South 90 degrees 00 minutes 00 seconds West along the North line of Lots 21, 22, and 23 in said Replat a distance of 949.76 feet to the West line of the East Half of the Northwest Quarter of said Section 10, thence North 0 degrees 49 minutes 37 seconds West along said West line a distance of 872.29 feet to the place of beginning and containing 15.415 acres more or less.

We, the undersigned owners of the real estate shown and described hereon, do hereby as shown plat and subdivide said real estate and designate same as ASTORIA

All streets within the plat are dedicated to the public. Building setback lines are established as shown on the plat between which lines and the property of the street there shall not be erected or maintained any building or structure. Strips of ground marked "P.U. Easement" are reserved for the use of public utilities. Owners of lots shall take title subject to the rights of the public utilities in said strips of ground. Strips of ground marked "Drainage Easement" are reserved for surface water and/or subsurface water drainage. No structure shall be erected or maintained in said strips of ground. Further, no bushes, shrubs, trees, or any other obstruction that would impede the flow of surface water shall be permitted in said strips of ground. Each lot owner shall be responsible for maintenance (cutting grass and weeds, and removing any obstructions to water flow) of that portion of the drainage channels or swales on their lots.

Strips of ground, of the width shown on this plat and marked "Public Utility Easement", are hereby dedicated to public utilities for the installation, maintenance, operation, enlargement and repair of utility facilities, whether above ground or below ground, with the right to trim or remove at the discretion of the public utility, trees, overhanging branches, bushes, underbrush, and obstructions. No structure other than said utility facility shall be located within said strips of land and any fence located within said strips of land is subject to removal by a public utility, without liability, in the use of said easements by said utility.

Strips of ground marked "Drainage Easement" are dedicated for surface water and/or subsurface water drainage; provided however, that public utilities are hereby permitted to cross such Drainage Easements with public utility facilities, and provided that such facilities are not placed in such manner as to impede the flow of water and further provided that such drainage easements may be used for ingress and egress and temporary staging areas for work by public utilities.

Gary Williams  
2411 Sharon Place  
Evansville, Indiana 47711  
(812)867-3430

W. Sue Williams

NOTARY CERTIFICATE  
STATE OF INDIANA  
COUNTY OF VANDERBURGH  
Before me, the undersigned notary public for Vanderburgh County, State of Indiana, personally appeared the above signed owners of the real estate shown and described hereon and acknowledged the execution of this plat to be their voluntary act and deed.

Witness my hand and seal this \_\_\_\_\_ day of \_\_\_\_\_, 199\_\_\_\_  
My commission expires \_\_\_\_\_ Notary Public \_\_\_\_\_  
Resident of \_\_\_\_\_ County Printed \_\_\_\_\_

A.P.C. CERTIFICATE  
Under the authority provided by Acts of 1981, Public Law No. 309, and enacted by the General Assembly of the State of Indiana, this plat has been given \_\_\_\_\_ approval by the Area Plan Commission of Evansville and Vanderburgh County of \_\_\_\_\_

Plat Release \_\_\_\_\_  
President \_\_\_\_\_  
Executive Director \_\_\_\_\_  
Executive Director \_\_\_\_\_

SURVEYORS CERTIFICATE  
I, Billy T. Nicholson, hereby certify that I am a Land Surveyor, licensed in compliance with the laws of the State of Indiana and further certify that this plat correctly represents a survey completed by me, and that all monuments shown exist at locations as noted; that this survey was made in accordance with Title 864, Article 1.1, Chapter 8, Section 1 through 34 of the Indiana Administrative Code and accordingly under my supervision. This is a class \_\_\_\_\_ survey with a theoretical uncertainty of \_\_\_\_\_ feet as determined by Sub-Section 7d, Section 7 of subject code.

Billy T. Nicholson No. 7964  
Date \_\_\_\_\_

**VEACH, NICHOLSON ASSOCIATES**  
1830-A W. Franklin St. Evansville, IN 47712 (812)424-2936

Erosion control: Slopes of 0 to 6% shall be mulched and seeded, i.e. rye, red top, and wheat (which will be used primarily for fall planting) within 15 days of disturbance of soil and must remain in place until final grading and shaping. Slopes more than 6% shall have straw bales and/or erosion blankets in place within 5 days of disturbance of soil and must remain in place until final grading and shaping.

All Lot corners marked with 5/8" Iron Pin except as noted  
All utilities, except sanitary sewer, available at site by extension  
Drainage Plans were approved on \_\_\_\_\_  
Street Plans approved on \_\_\_\_\_

Site is outside the 100 Year Flood Zone (Zone A) according to FIRM Map No. 180256 0015 C dated August 5, 1991  
All Lots must access interior street (Astoria Court) only.

