

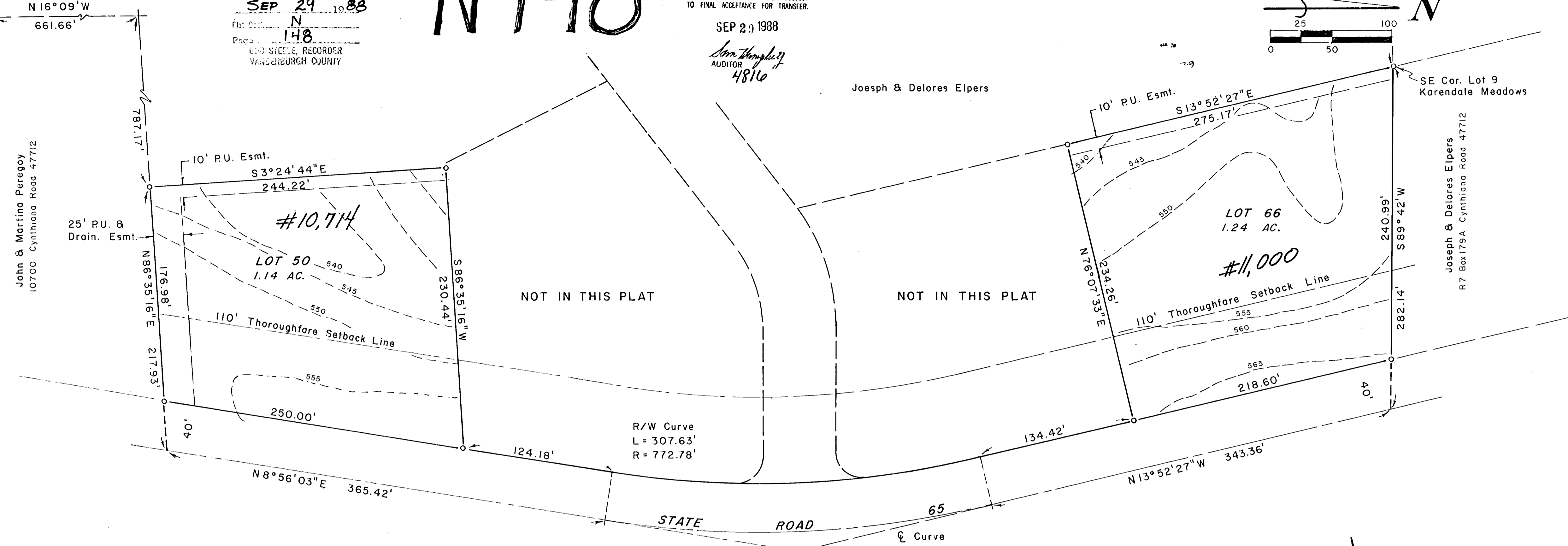
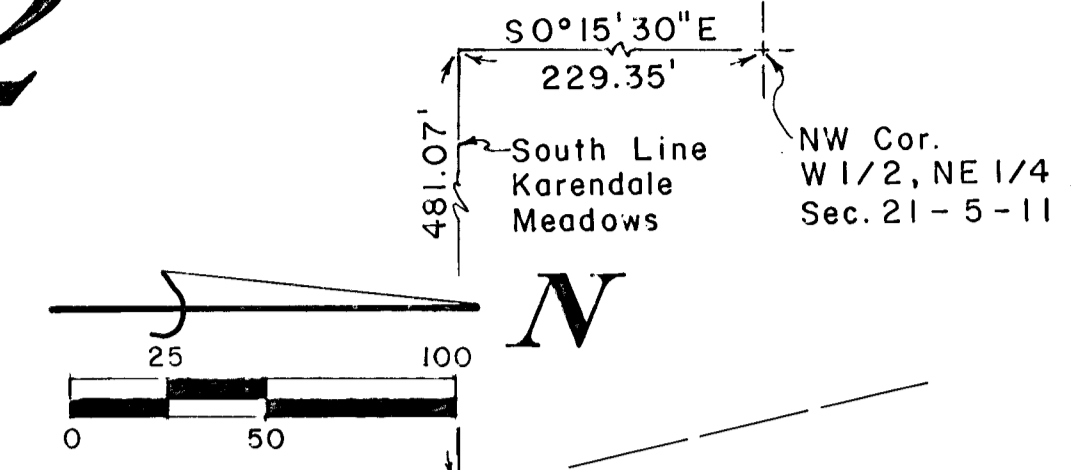
# WHISPERING HILLS SECTION C-2

## N-148

SE Cor. N1/2, SE 1/4, NW 1/4 Sec. 21-5-11

RECEIVED FOR RECORD at 9:12 A.M. SEP 29 1988  
Plat No. N-148  
Page 148  
D. SHEELE, RECORDER  
VANDERBURGH COUNTY

DULY ENTERED FOR TAXATION SUBJECT TO FINAL ACCEPTANCE FOR TRANSFER.  
SEP 23 1988  
Santhony Auditor 4816



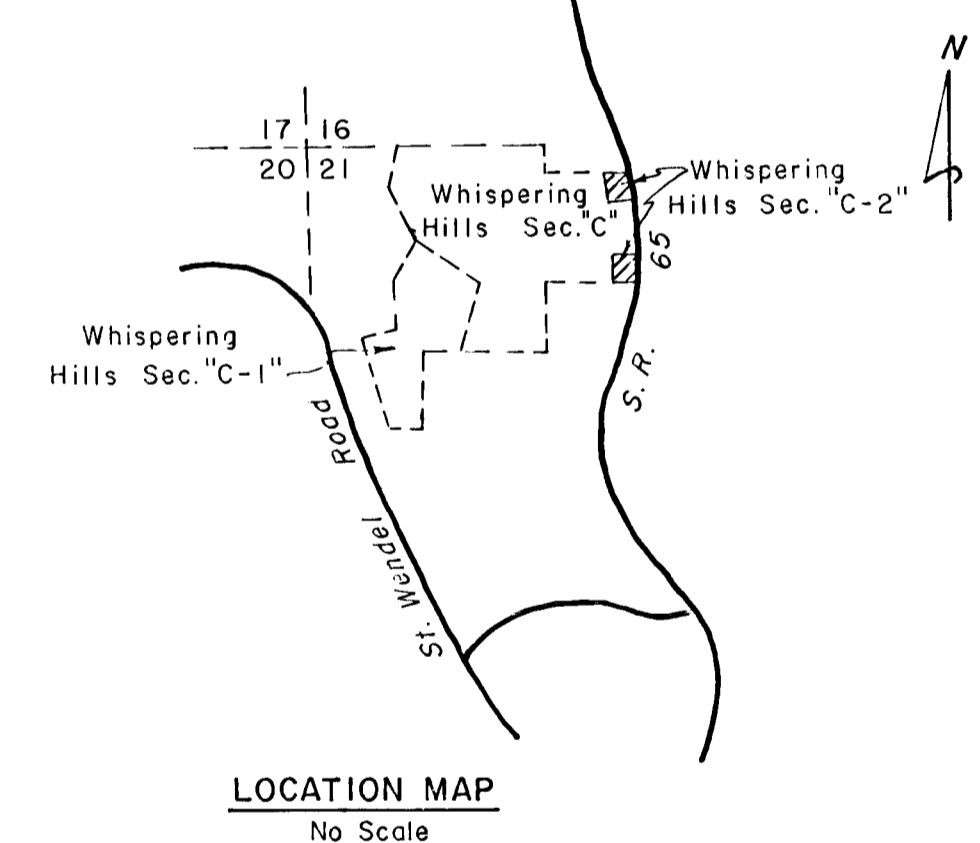
John & Martina Perego  
10700 Cynthiana Road 47712

Joseph & Delores Elpers

SE Cor. Lot 9 Karendale Meadows

Joseph & Delores Elpers  
R7 Box 179A Cynthiana Road 47712

Victor & Valeria Goebel  
10901 Cynthiana Road 47712



Part of the West half of the Northeast Quarter of Section 21 Township 5 South, Range 11 West, Vanderburgh County, Indiana described as follows:  
Beginning at the Southeast corner of Lot 9 Karendale Meadows, said point being located by commencing at the Northwest corner of said half quarter section 21, thence South 0 degrees 15 minutes 30 seconds East along the West line 229.35 feet to the Southwest corner of Karendale Meadows, thence North 89 degrees 42 minutes East a distance of 481.07 feet to said place of beginning of this description, thence South 13 degrees 52 minutes 27 seconds East a distance of 275.17 feet, thence North 76 degrees 07 minutes 33 seconds East a distance of 234.26 feet to the Right-of-Way of State Road 65 (being a 40 foot Right-of-Way), thence South 13 degrees 52 minutes 27 seconds East along said Right-of-Way a distance of 134.42 feet to the point of curve of said Right-of-Way having a radius of 772.78 feet, thence Southwesterly along said curve to the right a distance of 307.63 feet to the end of said curve, thence South 8 degrees 56 minutes 03 seconds West along said Right-of-Way a distance of 124.18 feet, thence South 86 degrees 35 minutes 16 seconds West a distance of 230.44 feet, thence South 3 degrees 24 minutes 44 seconds East a distance of 244.22 feet, thence North 86 degrees 35 minutes 16 seconds East a distance of 217.93 feet to the center of State Road 65, thence North 8 degrees 56 minutes 03 seconds East along said centerline 365.42 feet to the point of curve having a radius of 812.78 feet, thence Northerly along said curve to the left a distance of 323.55 feet to the end of said curve, thence North 13 degrees 52 minutes 27 seconds West a distance of 343.36 feet to the corner of Joseph Elpers Lot, thence South 89 degrees 42 minutes West a distance of 282.14 feet to the place of beginning containing 3.33 acres more or less.

Erosion control: Slopes of 0 to 6% shall be mulched and seeded, i.e. rye, red top, and wheat (which will be used primarily for fall planting) within 45 days of disturbance of soil and must remain in place until final grading and shaping. Slopes more than 6% shall have straw bales and/or erosion blankets in place within 45 days of disturbance of soil and must remain in place until final grading and shaping.

All area zoned agriculture  
Site within the German Township Water District  
Sanitary Sewer not available at site  
Septic systems in compliance with HSE-25 and must have certified engineered systems approved by Health Department  
Street plans approved August 12, 1985 by Vand. Co.  
Drainage plans approved June 25, 1984 by Vand. Co.

### OWNERS CERTIFICATE

We the undersigned, owner of the real estate shown and described hereon do hereby as shown plot and subdivide said real estate and designate same as Whispering Hills Section C-2  
All streets within the plat are dedicated to the public. Building setback lines are established as shown on the plat between which lines and the property of the street there shall not be erected or maintained any building or structure. Strips of ground of the width shown on the plat and marked "P.U. Easement" are reserved for the use of Public Utilities for the installation of water and sewer mains, poles, ducts, lines and wires, subject at all times to the proper authorities and to the assessments hereon reserved. No structures are to be erected or maintained on said strips, and owners of lots shall take title subject to the rights of the public utilities in said strips of ground.

Joseph A. Elpers  
Delores F. Elpers

R7 Box 179A Cynthiana Road 47712

### STATE OF INDIANA COUNTY OF VANDERBURGH

Before me, the undersigned, a Notary Public in and for said county and state aforesaid personally appeared the said Joseph A. & Delores F. Elpers who acknowledged the execution of the foregoing plat of Whispering Hills Section C-2 the dedications and restrictions thereon, expressed to be their voluntary act and deed for the uses and purposes set forth

Witness my hand and Notarial Seal this 28th day of September, 1988

Barbara A. Runyon  
Notary Public

My commission expires March 13, 1992



### APC CERTIFICATE

Under authority provided by Chapter 174- Act of 1947 enacted by the General Assembly of the State of Indiana and by an Ordinance adopted by the City of Evansville, and the County of Vanderburgh, this plat has been given PRIMARY APPROVAL by the AREA PLAN COMMISSION of Evansville and Vanderburgh County, at a meeting held on August 1, 1984

Robert H. Gans, Jr.  
PRESIDENT

Barbara L. Cunningham  
EXECUTIVE DIRECTOR

Sept 28 1988  
Date

Billy T. Nicholson  
PLS No. 7984

PLAT RELEASE: SEPT. 29, 1988

Barbara L. Cunningham  
EXECUTIVE DIRECTOR

