

THE STABLES SOUTH RESIDENTIAL SUBDIVISION

APPROVALS

SANITARY SEWER PLANS

RECOMMENDED BY: _____ DATE: _____

APPROVED BY: EVANSVILLE WATER AND SEWER UTILITY BOARD DATE: _____

DRAINAGE PLANS

RECOMMENDED BY: _____ DATE: _____
 Jeff Mueller, Vanderburgh County Surveyor
VANDERBURGH COUNTY DRAINAGE BOARD

APPROVED BY: _____ DATE: _____
 Bruce Ungethiem, President

APPROVED BY: _____ DATE: _____
 Stephen Melcher, Member

APPROVED BY: _____ DATE: _____
 Joe Kiefer, Member

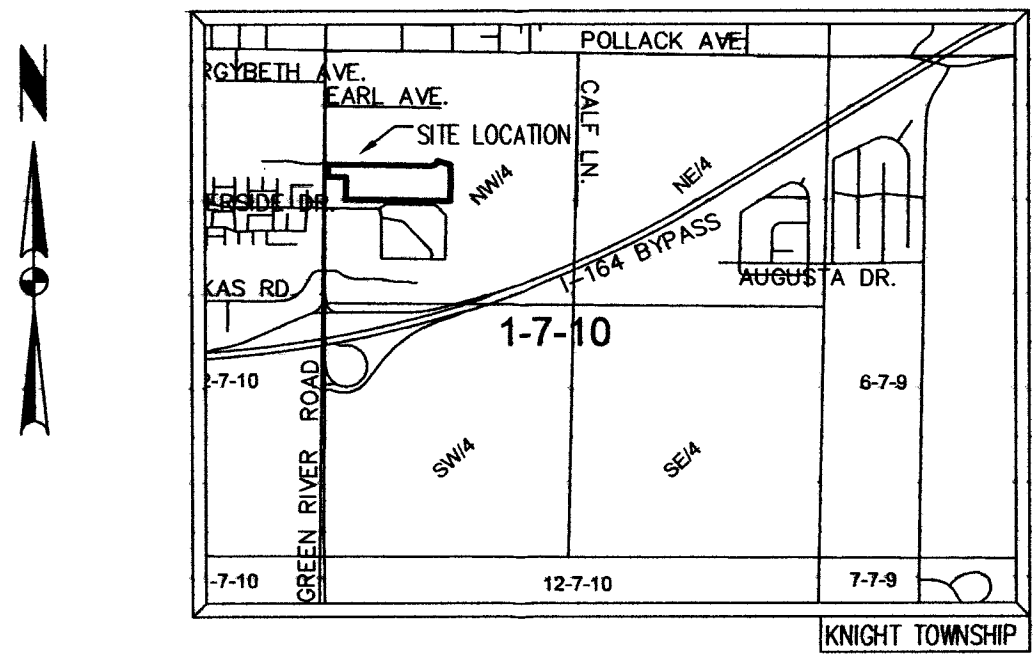
ROADWAY PLANS

RECOMMENDED BY: _____ DATE: _____
 John Stoll, P.E. Vanderburgh County Engineer
VANDERBURGH COUNTY COMMISSIONERS

APPROVED BY: _____ DATE: _____
 Bruce Ungethiem

APPROVED BY: _____ DATE: _____
 Joe Kiefer

APPROVED BY: _____ DATE: _____
 Stephen Melcher



LOCATION MAP
SCALE: 1"=2000'



Joseph R. Kiefer

SHEET INDEX

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NOTIFICATION REQUIREMENTS

THE CONTRACTORS SHALL NOTIFY ALL UTILITIES 48 HOURS BEFORE BEGINNING WORK FOR FIELD LOCATIONS. THE UTILITIES TO BE NOTIFIED INCLUDE THE FOLLOWING:

- VECTREN
- EVANSVILLE WATER & SEWER UTILITY 1-800-382-5544
- AT&T
- TWC

THE FOLLOWING GOVERNMENTAL AGENCIES SHALL BE NOTIFIED 24 HOURS PRIOR TO BEGINNING WORK AND ON A DAILY BASIS THEREAFTER WHEN PERFORMING THE WORK LISTED BELOW:

- STORM SEWERS, STREET SUBGRADE & STREETS
VANDERBURGH COUNTY ENGINEER 435-5773
- SANITARY SEWERS
EVANSVILLE WATER & SEWER UTILITY OPERATIONS DEPT.
421-2130

APPROVED

JUL 2 1 2015

VANDERBURGH COUNTY
DRAINAGE BOARD

RECEIVED BY THE
VANDERBURGH COUNTY
SURVEYOR'S OFFICE 7/14/15 CA

Written dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all field conditions and any variations from the dimensions and conditions shown by these drawings.

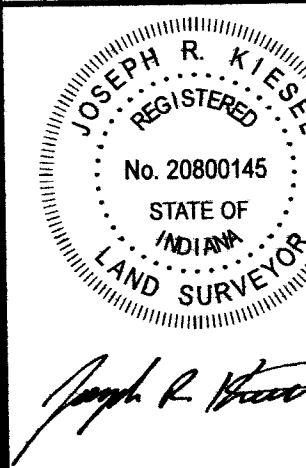


KIESEL-WAGNER SURVEY, LLC
 LAND SURVEYING AND CONSULTING SERVICES
 2711 W.B.R. 68, HAUBSTADT, IN 47699 W
 PHONE: Joe 812.305.6266 Chad 812.319.3910
 EMAIL: joe@kw-llc.com chad@kw-llc.com

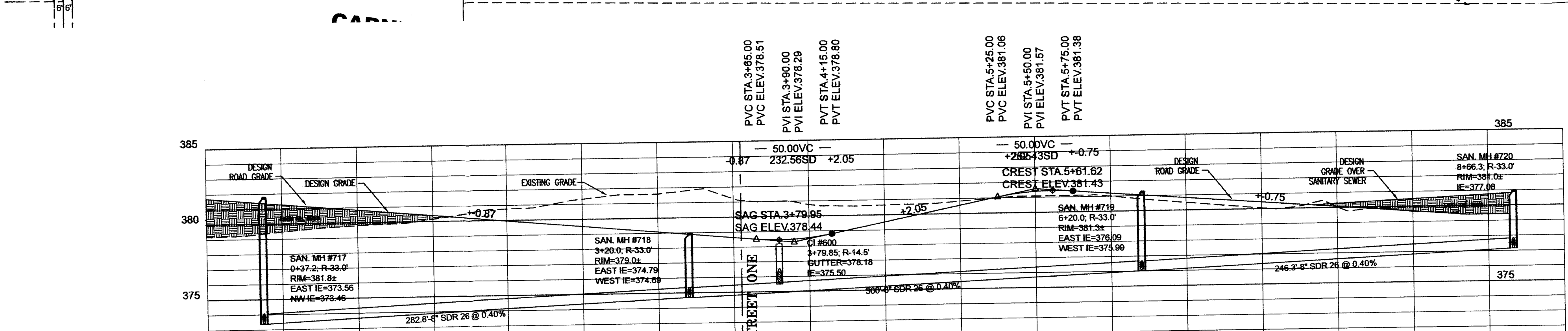
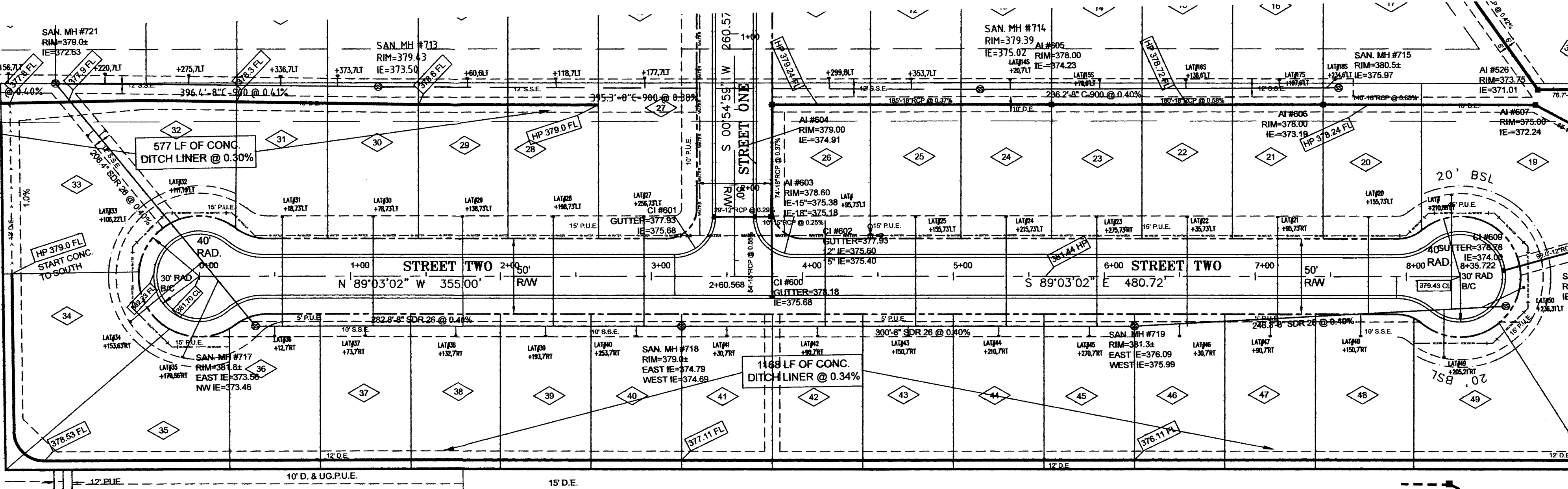
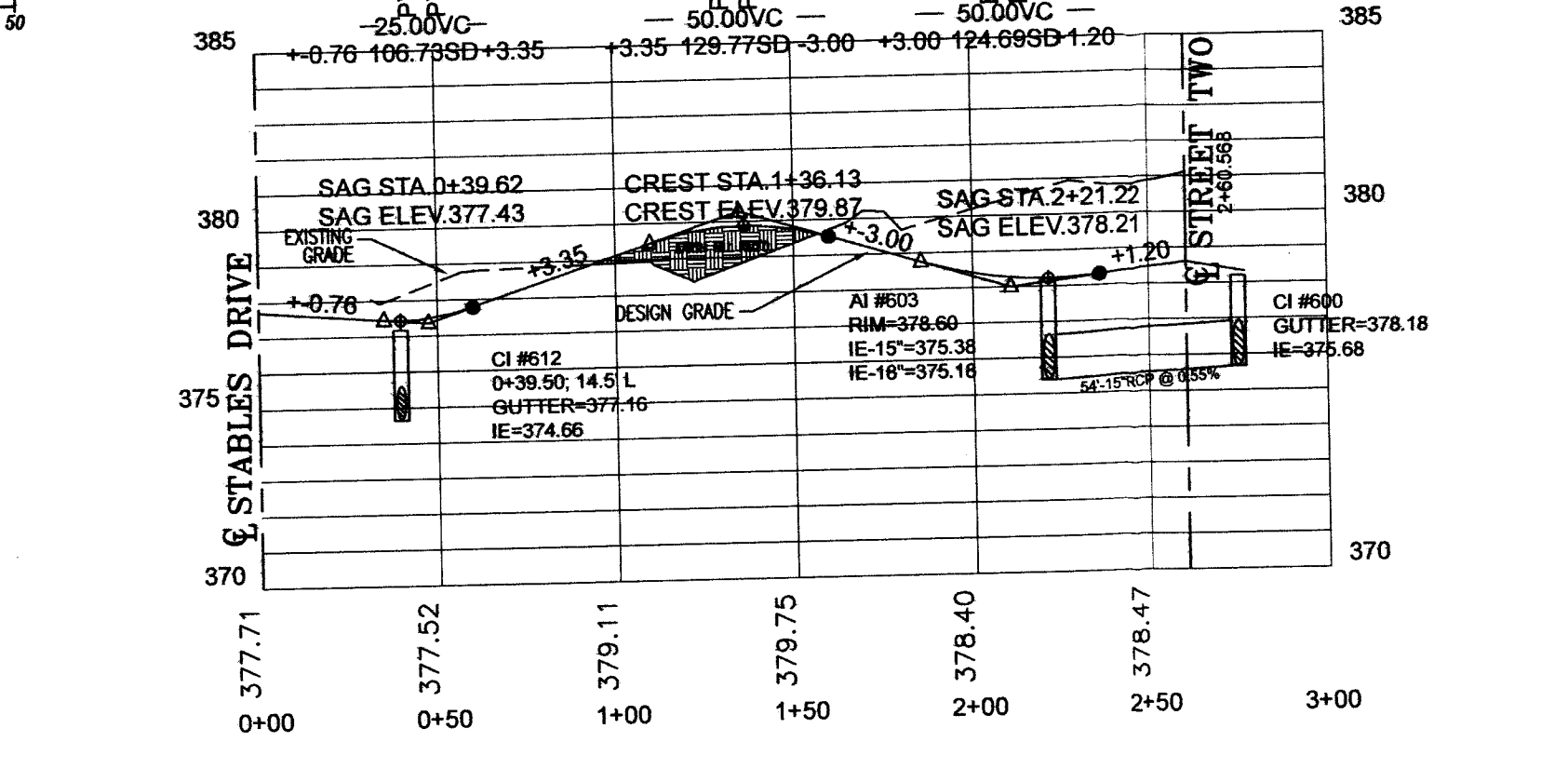
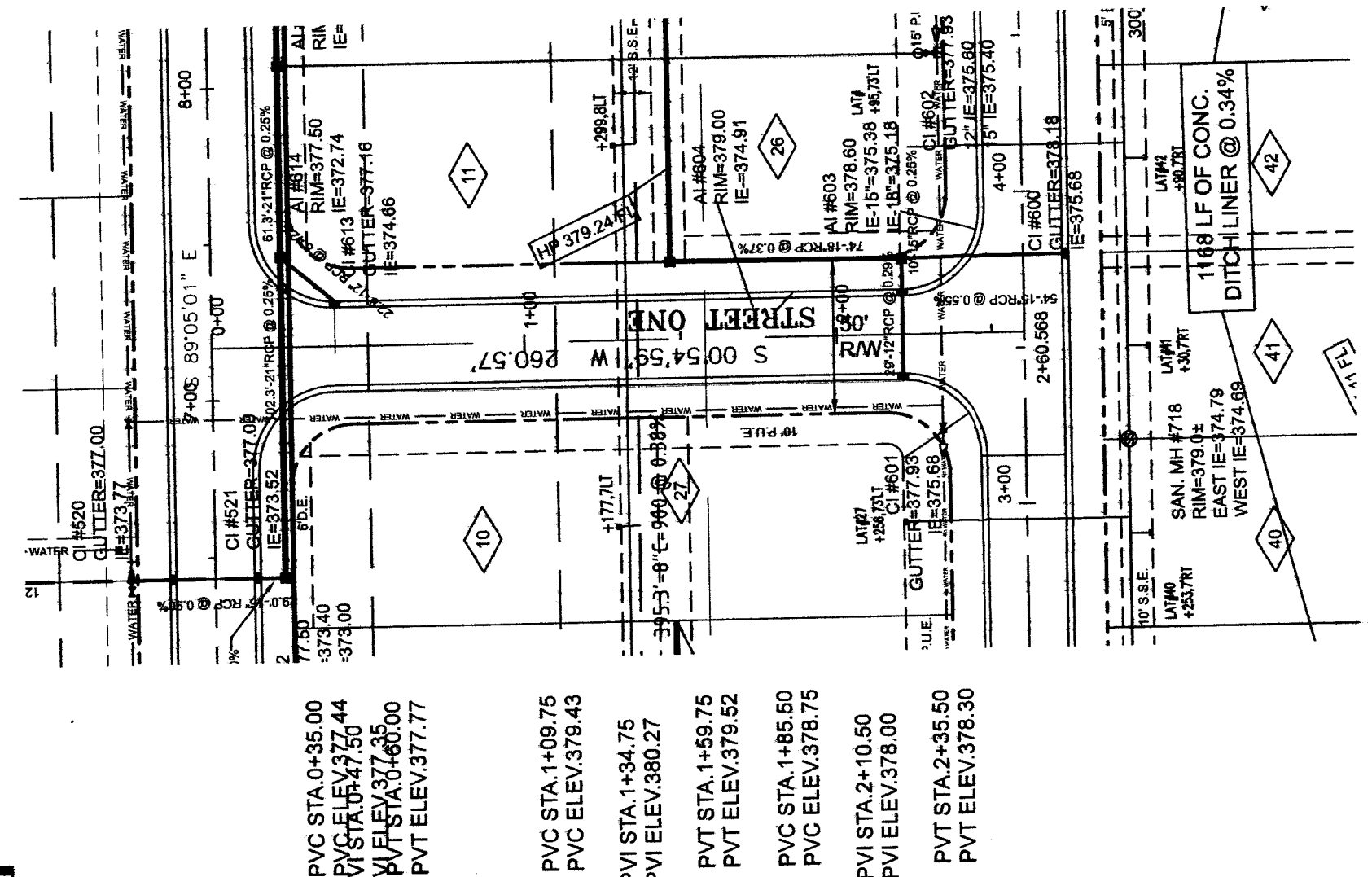
THE STABLES SOUTH
ROAD PROFILE
STREET ONE & TWO

Project: THE STABLES SOUTH
 Sheet Title: ROAD PROFILE STREET ONE & TWO

Revisions	Description	Date	By

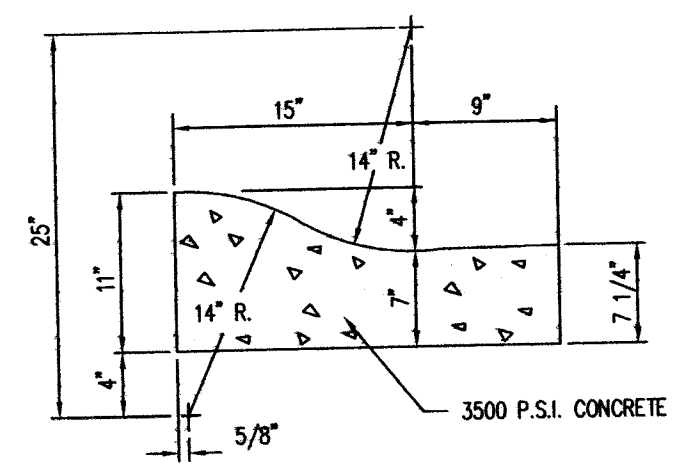


Scale: 1"=50'
 Approved: JUL 21 2015
 VANDERBURGH COUNTY DRAINAGE BOARD
 Designed By: CAW/NRM
 Job Number: 116-2015-004
 Drawn By: CAW/NRM
 Date: 7-14-2015
 Filename: BASE.DWG
 Sheet Number: **RP-1**



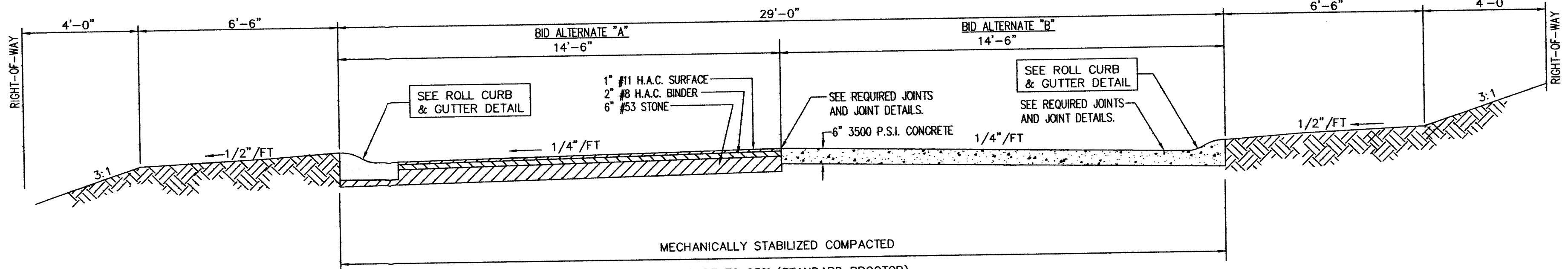
- GENERAL NOTES**
- THE FOLLOWING LOCAL GOVERNMENTAL AGENCY SHALL BE NOTIFIED 24 HOURS PRIOR TO BEGINNING WORK AND ON A DAILY BASIS WHEN PERFORMING THE WORK LISTED BELOW:
 STORM SEWERS, STREET SUBGRADE, STREETS
 VANDERBURGH COUNTY ENGINEER 812-435-5773
 SANITARY SEWERS
 EVANSVILLE WATER & SEWER UTILITY OPERATIONS DEPT. 421-2130
 - GENERAL SITE**
 WORK COVERS ALL EARTHWORK, SEWERS, PAVING AND OTHER RELATED WORK FOR THE DEVELOPMENT OF "THE STABLES SOUTH."
 - THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL CODES, ORDINANCES, RULES, REGULATIONS, ORDERS AND OTHER LEGAL REQUIREMENTS OF MUNICIPAL AUTHORITIES WHICH BEAR ON THE PERFORMANCE OF THE WORK.
 - ALL FIELD ENGINEERING SHALL BE SUPPLIED BY THE OWNER.
 - ALL BUILDING PAD FILL MATERIAL SHALL BE COMPACTED TO 95% (STANDARD PROCTOR).
 - EXCAVATING**
 ROADWAY SUBGRADE COMPACTION TESTS SHALL BE PERFORMED AT CONTRACTORS EXPENSE.
 SUFFICIENT SOIL SAMPLES ARE TO BE TAKEN BY THE CONTRACTOR FROM THE ROADWAY SUBGRADE AFTER THE TOPSOIL IS REMOVED OR FROM BORROW AREAS IN ORDER TO OBTAIN ACCURATE PROCTOR VALUES FOR SUBSEQUENT SUBGRADE DENSITY TESTING.
 SUBGRADE IS TO BE COMPACTED IN ACCORDANCE WITH VANDERBURGH COUNTY ROAD STANDARDS.
 SUBGRADE DENSITY IS TO BE TESTED AT A MINIMUM OF ONE TEST PER SECTION OF ROADWAY CONNECTED BY AN INTERSECTION. OTHERS MAY BE REQUESTED AT THE DISCRETION OF THE INSPECTOR OR ENGINEER.
 DRAWINGS DO NOT REPRESENT A BALANCE BETWEEN BORROW AND FILL MATERIAL.
 SUBGRADE MUST BE PROOF ROLLED PRIOR TO THE PLACEMENT OF ANY STONE OR PAVEMENT. PROOF ROLLING SHALL BE DONE BY A FULLY LOADED TRIAXLE DUMP TRUCK. THERE SHALL BE ONE OR TWO COMPLETE PASSES AS DIRECTED. ROLLER MARKS, IRREGULARITIES, AND/OR FAILURES SHALL BE CORRECTED. PROOF ROLLING MUST BE COMPLETED IN THE PRESENCE OF A COUNTY INSPECTOR.
 - STORM SEWERS**
 STORM DRAINAGE SYSTEM TO BE IN TEMPORARY SERVICE FOR SITE DRAINAGE DURING CONSTRUCTION AND MUST BE CLEANED BEFORE CONSIDERATION FOR MAINTENANCE ACCEPTANCE.
 PRODUCT CERTIFICATIONS OR REPORTS ARE TO BE OBTAINED BY THE CONTRACTOR FROM THE CONCRETE SUPPLIER AND MADE AVAILABLE TO THE VANDERBURGH COUNTY ENGINEER'S INSPECTOR OR OFFICE.
 ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ASTM C 76-79.
 STORM SEWER PIPE SHALL CONFORM TO RCP CLASS III WITH O-RING RUBBER GASKET JOINTS. RUBBER GASKETS SHALL CONFORM TO ASTM C 473-79.

- PAVEMENT**
- PRODUCT CERTIFICATIONS OR REPORTS ARE TO BE OBTAINED BY THE CONTRACTOR FROM THE CONCRETE SUPPLIER AND MADE AVAILABLE TO THE VANDERBURGH COUNTY ENGINEER'S INSPECTOR OR OFFICE.
 - ALL CONCRETE TESTS SHALL BE PERFORMED AT CONTRACTOR'S EXPENSE.
 - A MINIMUM OF ONE SET (THREE CYLINDERS) OF CONCRETE SAMPLES ARE TO BE TAKEN EACH DAY BY THE CONTRACTOR FOR STRENGTH TESTING. OTHERS MAY BE REQUESTED AT THE DISCRETION OF THE INSPECTOR OR ENGINEER.
 - IF NECESSARY, PAVEMENT CORES WILL BE TAKEN AT THE EXPENSE OF CONTRACTOR IN ACCORDANCE WITH INDOT STANDARDS.
 - ALL JOINTS AND ANY CRACKS IN THE PAVEMENT SHALL BE FILLED WITH JOINT SEALER.



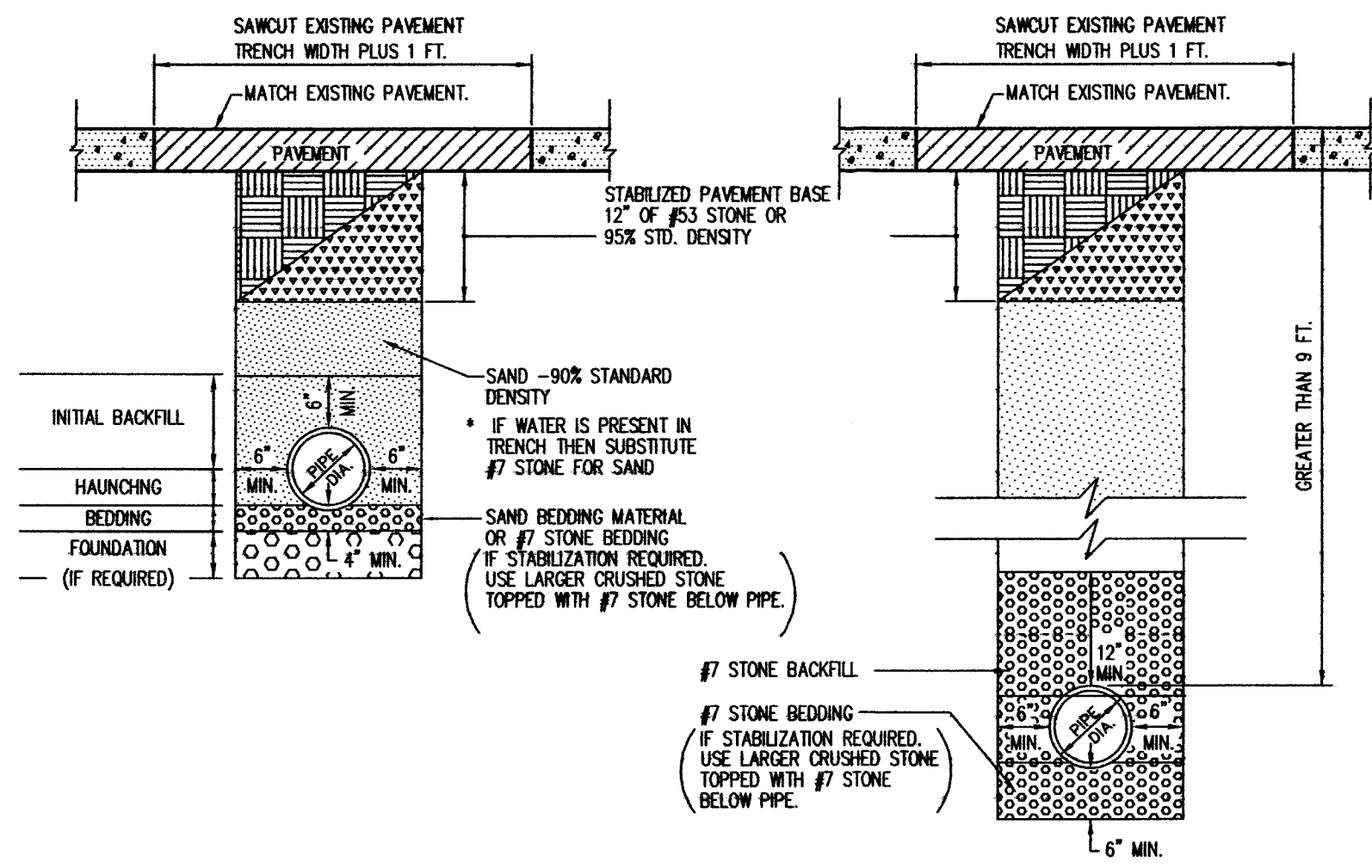
NOTES
 (1) 1/2" PREFORMED EXPANSION JOINT MATERIAL AT ALL P.C. & P.T. OF CURB RADIUS & MAX. SPACING OF TANGENT SECTIONS = 90'.
 (2) TOOLED CONTRACTION JOINTS AT 10'-0" CENTERS. CONTRACTION JOINT TO BE MINIMUM 3" DEEP & 1/8" TO 1/4" WIDE.

CONCRETE ROLL CURB & GUTTER DETAIL
 SCALE: N.T.S.

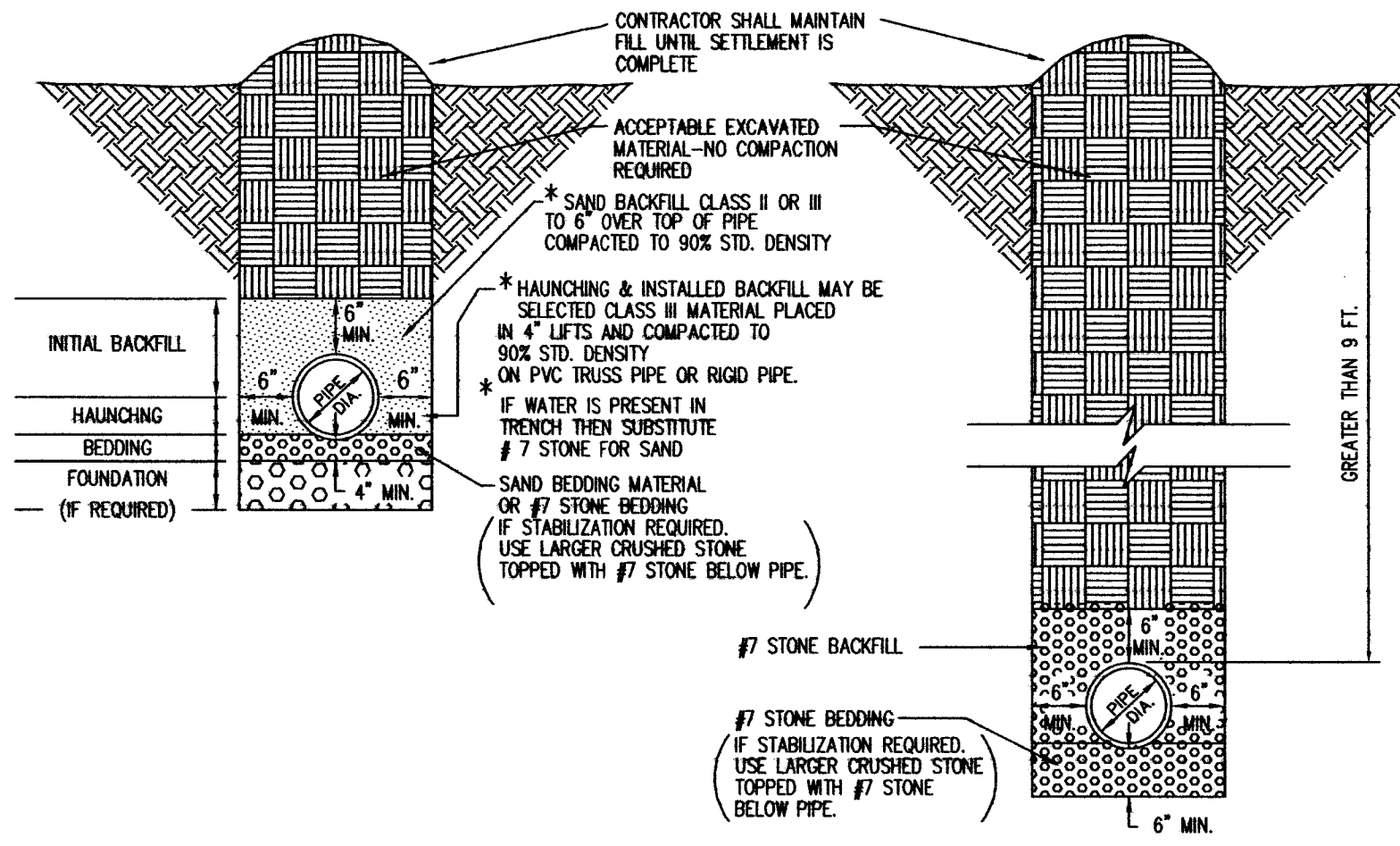


29' PAVEMENT SECTION
 SCALE: 3/8"=1'-0"

APPROVED
 JUL 21 2015
 VANDERBURGH COUNTY DRAINAGE BOARD



(PAVED AREAS)



(UNPAVED AREAS)

SANITARY SEWER BEDDING DETAILS
NO SCALE

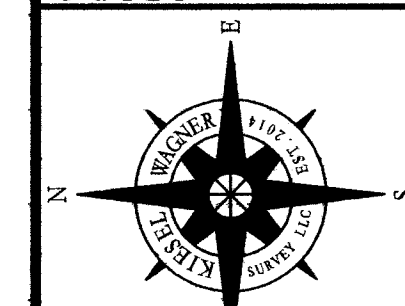
GENERAL NOTES

THE FOLLOWING LOCAL GOVERNMENTAL AGENCY SHALL BE NOTIFIED 24 HOURS PRIOR TO BEGINNING WORK AND ON A DAILY BASIS THEREAFTER WHEN PERFORMING THE WORK LISTED BELOW:

SANITARY SEWERS
EVANSVILLE WATER & SEWER UTILITY OPERATIONS DEPARTMENT 421-2130
SANITARY SEWERS UNDER PROPOSED ROADWAYS
VANDERBURGH COUNTY ENGINEERS OFFICE 435-5773

- CONTRACTOR MUST VERIFY EVERY MANHOLE AND CLEANOUT TOP ELEVATION WITH OWNER SO THAT THEY END UP SLIGHTLY ABOVE FINAL LANDSCAPE GRADE.
- PRODUCT CERTIFICATIONS OR REPORTS ARE TO BE OBTAINED BY THE CONTRACTOR FROM THE CONCRETE SUPPLIER AND MADE AVAILABLE TO THE UTILITY'S INSPECTOR OR OFFICE.
- SEPARATION BETWEEN SANITARY SEWER AND WATER LINES IS TO BE IN ACCORDANCE WITH "TEN STATES STANDARDS".
- SEWER LATERALS SHALL BE CONSTRUCTED WITH FACTORY 8"x8"x6" WYE ON MAIN AND 6" PVC TO LOT OR EASEMENT LINE.

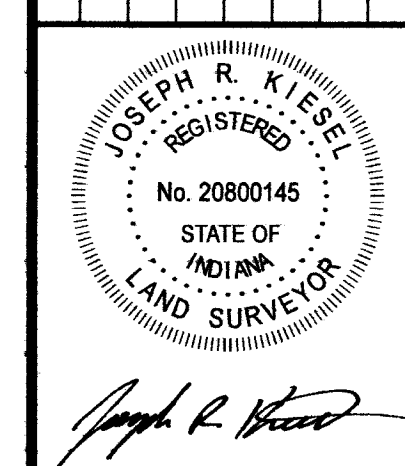
Written dimensions on these drawings shall have precedence over all other dimensions. If there is a conflict between dimensions, the dimensions shown on the drawings shall govern. All dimensions are in feet and inches unless otherwise noted. Dimensions must be notified of any variations from the dimensions and conditions shown by these drawings.



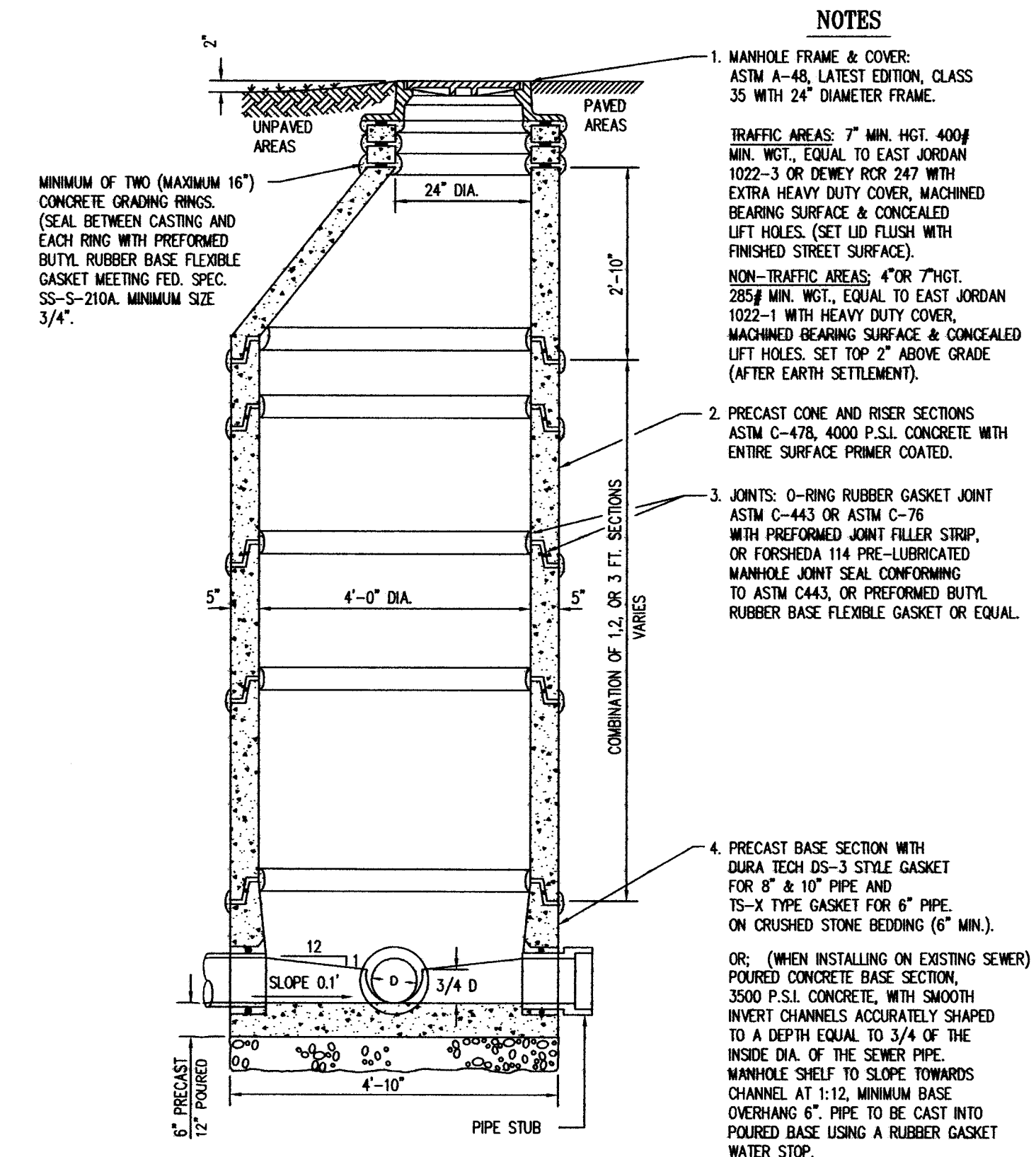
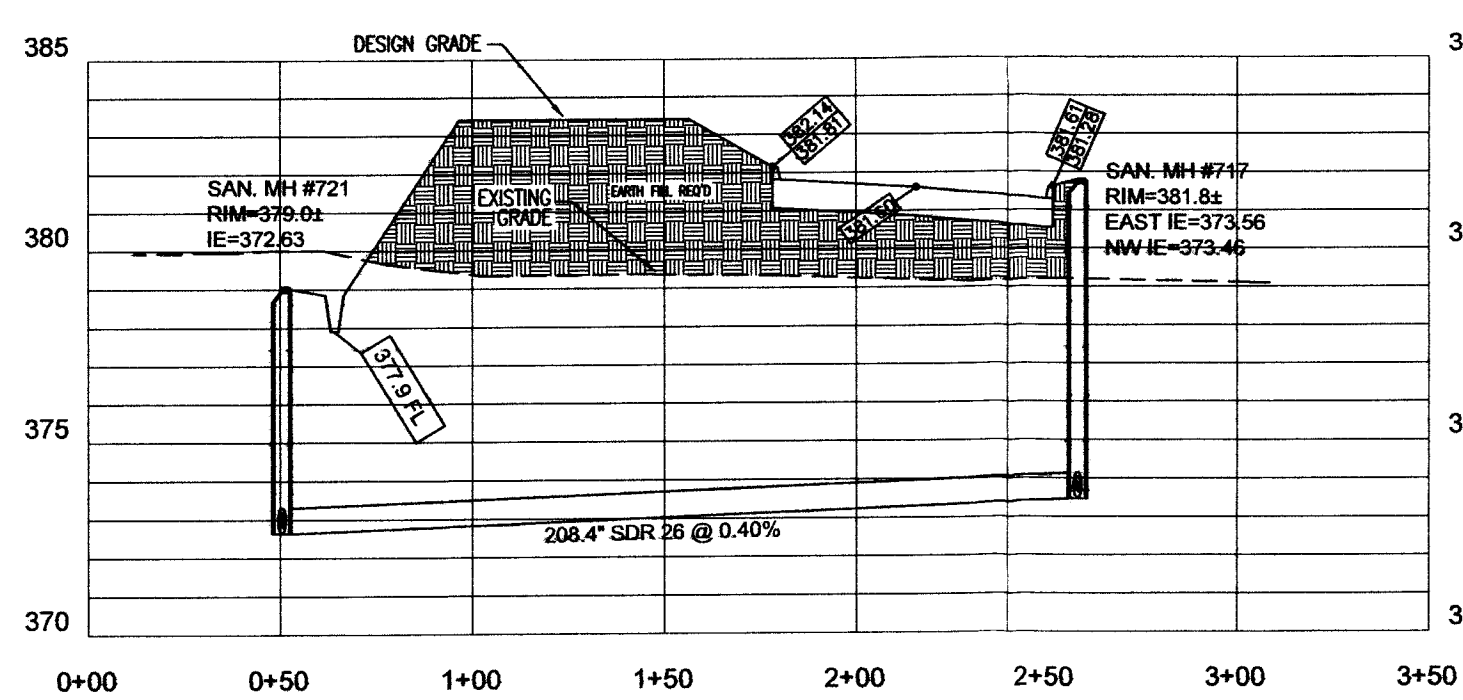
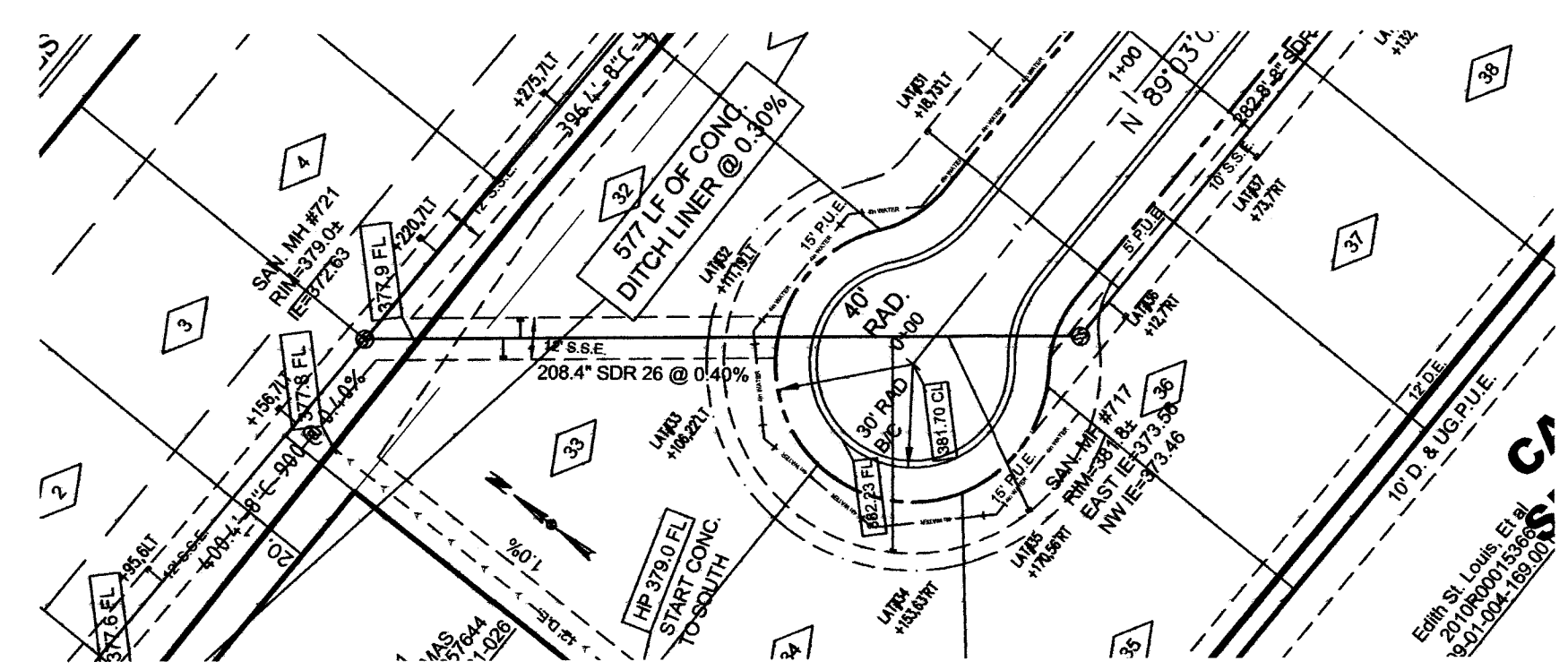
KIESEL-WAGNER SURVEY, LLC
LAND SURVEYING AND CONSULTING SERVICES
2711 W.S.R. 88 HAUBSTADT, IN 47639 W
PHONE: Joe 812.305.6258 Chad 812.319.3910
EMAIL: joe@kws-llc.com chad@kws-llc.com

Project: **THE STABLES SOUTH**
Sheet Title: **SP-1 SANITARY DETAILS**

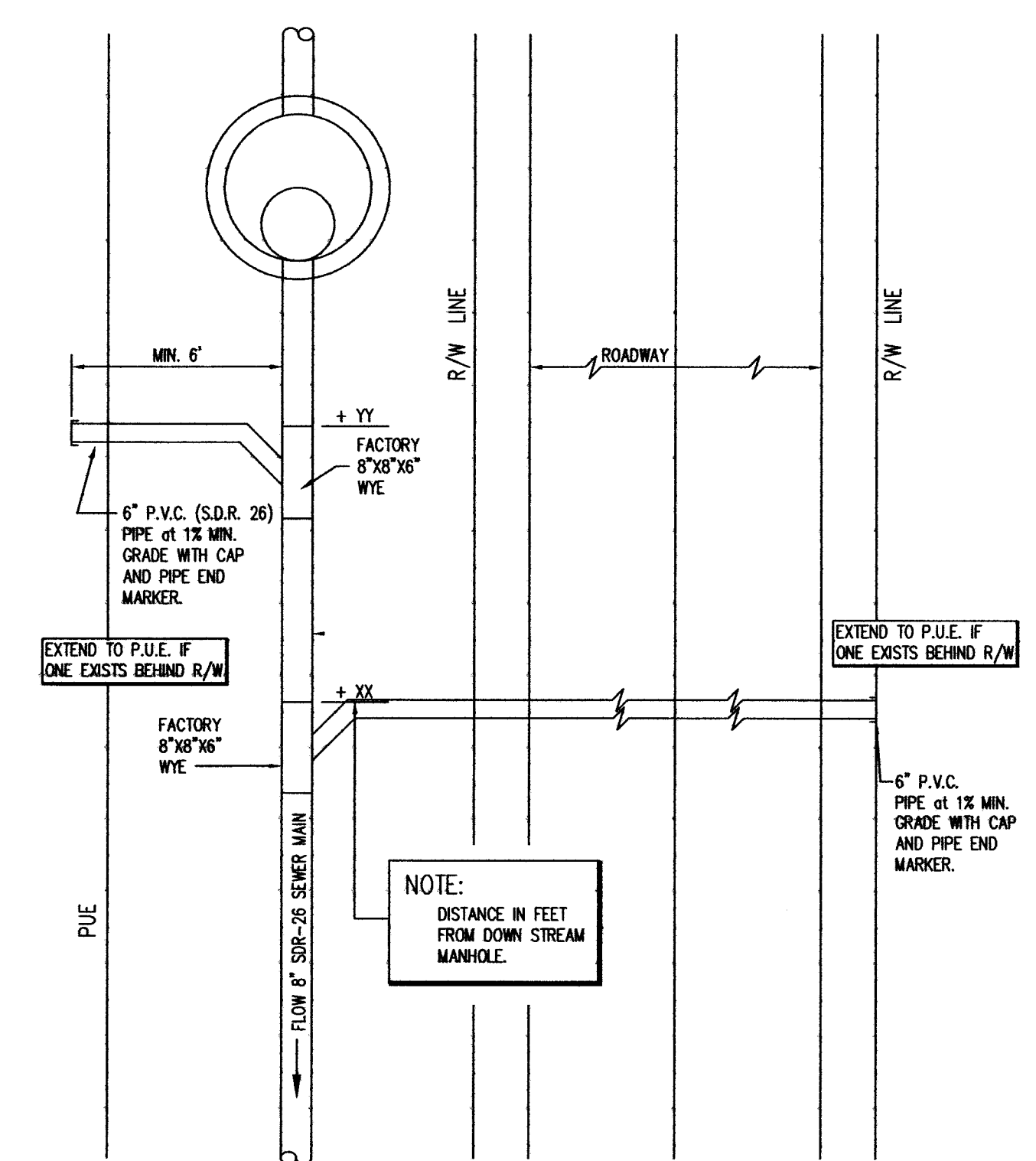
Revisions	Description	No.	By	Date



Scale: 1"=50'
Designed By: CAW/NRM Job Number: 116-2015-004
Drawn By: CAW/NRM Date: 7-14-2015
Filename: BASE.DWG
Sheet Number: **SP-1**



PRECAST CONCRETE MANHOLE DETAIL
SCALE: N.T.S.



SEWER LATERAL DETAIL
NO SCALE

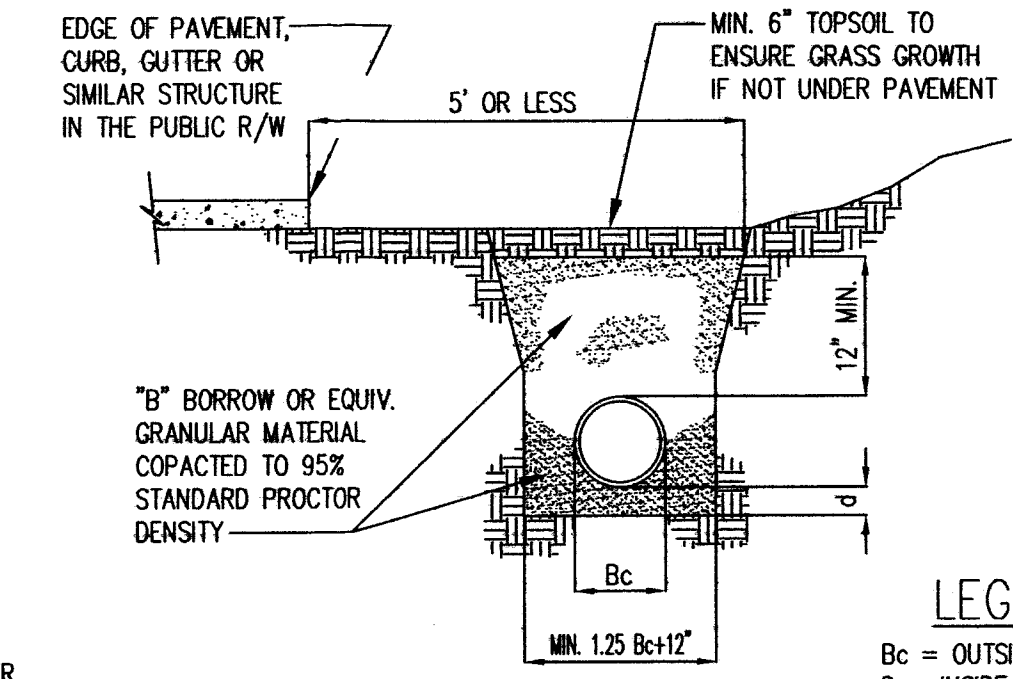
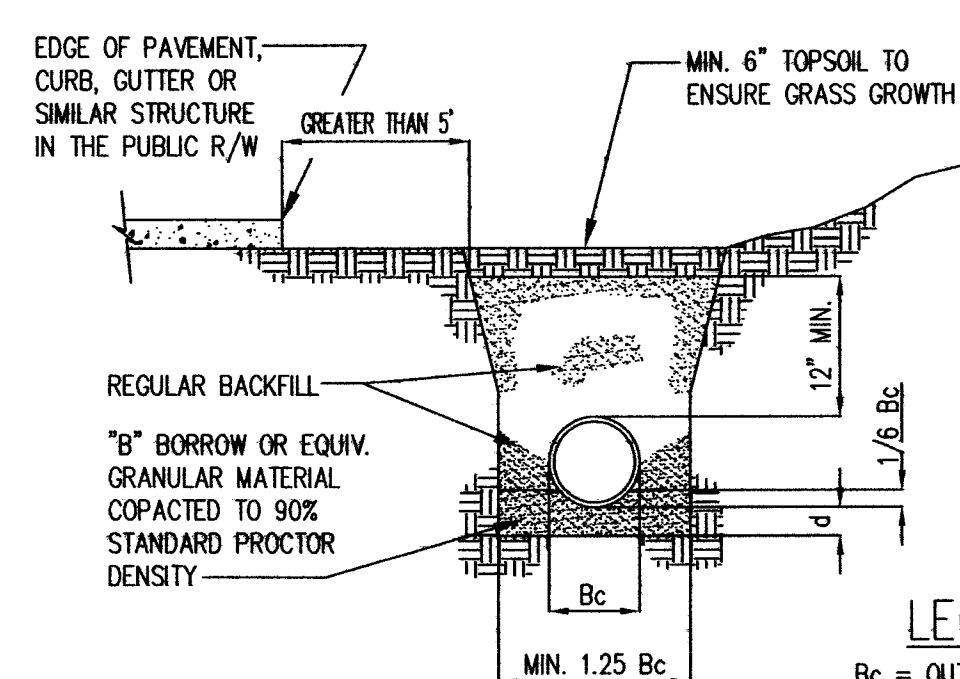
APPROVED
JUL 21 2015
VANDERBURGH COUNTY DRAINAGE BOARD

STORM STRUCTURE TABLE

STRUCTURE NUMBER	STRUCTURE TYPE	CASTING	COVER/GRATE	RIM ELEV.	INVERT ELEV.
600	C.I.-TYPE "J"	E.J. 7030	M3	378.18	375.68
601	C.I.-TYPE "J"	E.J. 7030	M3	377.93	375.68
602	C.I.-TYPE "J"	E.J. 7030	M3	377.93	375.40
603	A.I.-TYPE "E"	E.J. 6610	OPEN	378.60	375.18
604	A.I.-TYPE "E"	E.J. 6610	OPEN	379.00	374.91
605	A.I.-TYPE "E"	E.J. 6610	OPEN	378.00	374.23
606	A.I.-TYPE "E"	E.J. 6610	OPEN	378.00	373.19
607	A.I.-TYPE "E"	E.J. 6610	OPEN	375.00	372.24
608	FLARED END SECTION	-	-	-	371.00
609	C.I.-TYPE "J"	E.J. 7030	M3	378.78	374.00
610	FLARED END SECTION	-	-	-	371.10
611	A.I.-TYPE "E"	E.J. 6610	OPEN	375.00	372.50
612	FLARED END SECTION	-	-	-	372.30
613	C.I.-TYPE "J"	E.J. 7030	M3	377.16	374.66
614	A.I.-TYPE "E"	E.J. 6610	OPEN	377.50	372.74

GENERAL NOTES

- GENERAL SITE**
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 - THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL CODES, ORDINANCES, RULES, REGULATIONS, ORDERS AND OTHER LEGAL REQUIREMENTS OF MUNICIPAL AUTHORITIES WHICH BEAR ON THE PERFORMANCE OF THE WORK.
 - ALL FIELD ENGINEERING SHALL BE SUPPLIED BY THE OWNER.
 - CONTRACTOR SHALL NOTIFY COUNTY ENGINEER BEFORE PLACING ANY STRUCTURE OR LINE UNDER PROPOSED ROADWAYS 435-5773
- EXCAVATING**
- ROADWAY SUBGRADE COMPACTION TESTS SHALL BE PERFORMED AT CONTRACTORS EXPENSE.
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 - SUBGRADE IS TO BE COMPACTED IN ACCORDANCE WITH VANDERBURGH COUNTY ROAD STANDARDS.
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 - DRAWINGS DO NOT REPRESENT A BALANCE BETWEEN BORROW AND FILL MATERIAL.
- STORM SEWERS**
- ALL STORM SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH VANDERBURGH COUNTY STANDARDS.



LEGEND
 Bc = OUTSIDE DIAMETER
 D = INSIDE DIAMETER
 d = DEPTH OF BEDDING MATERIAL BELOW PIPE

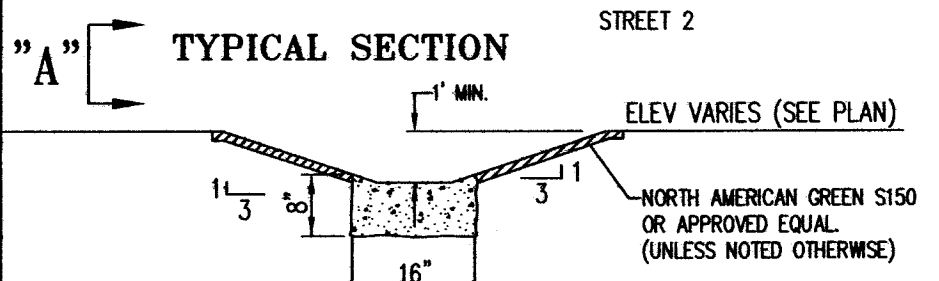
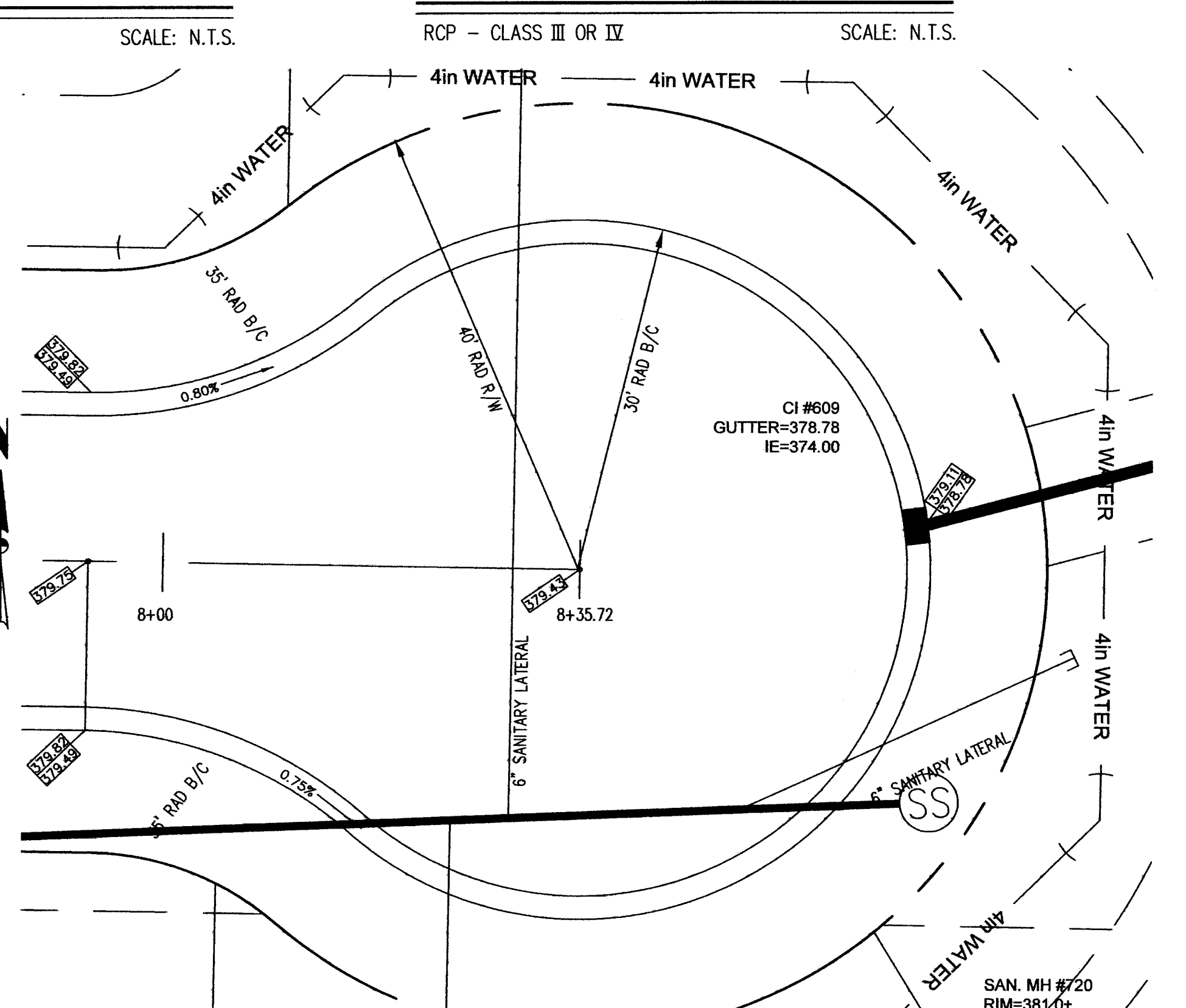
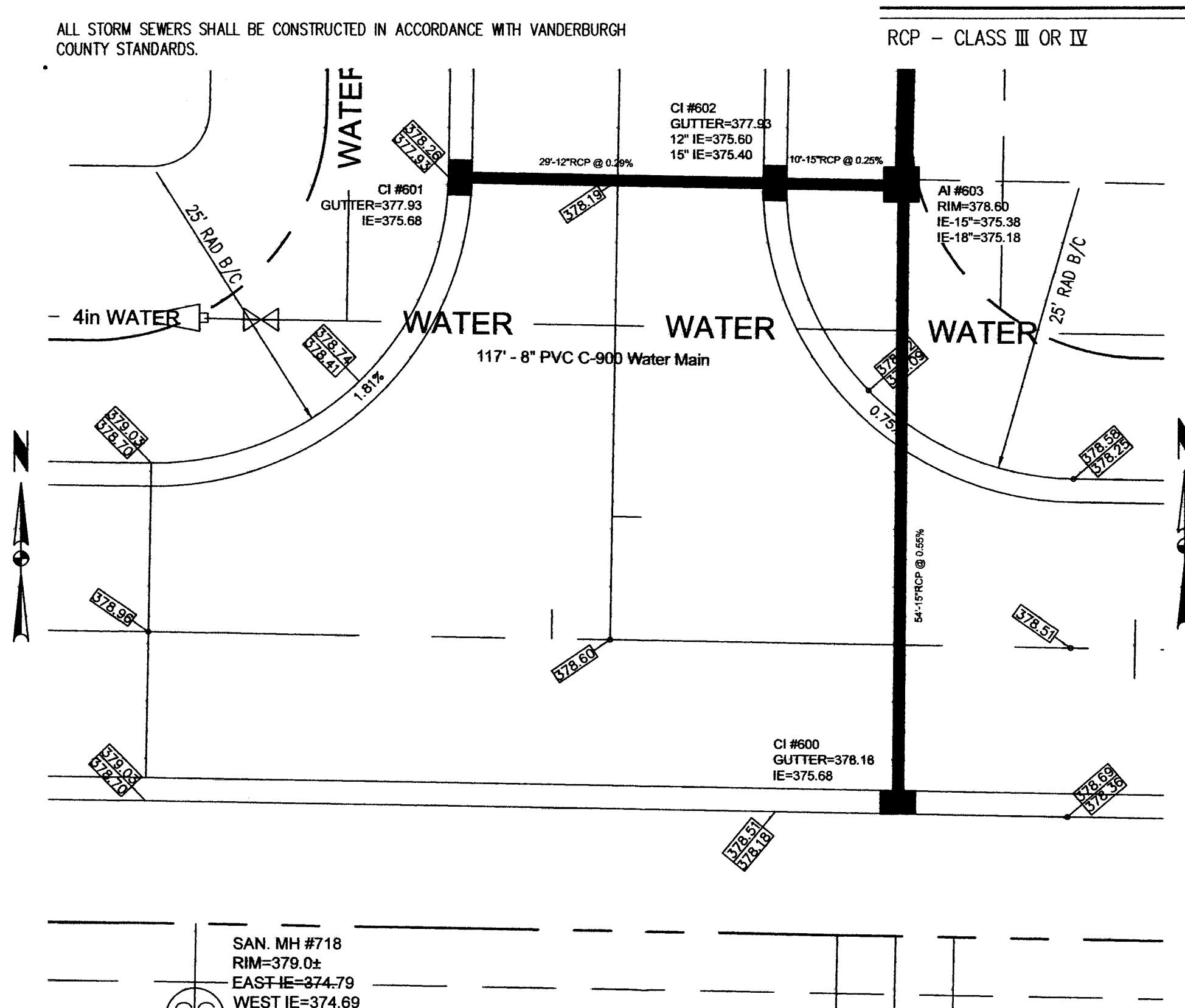
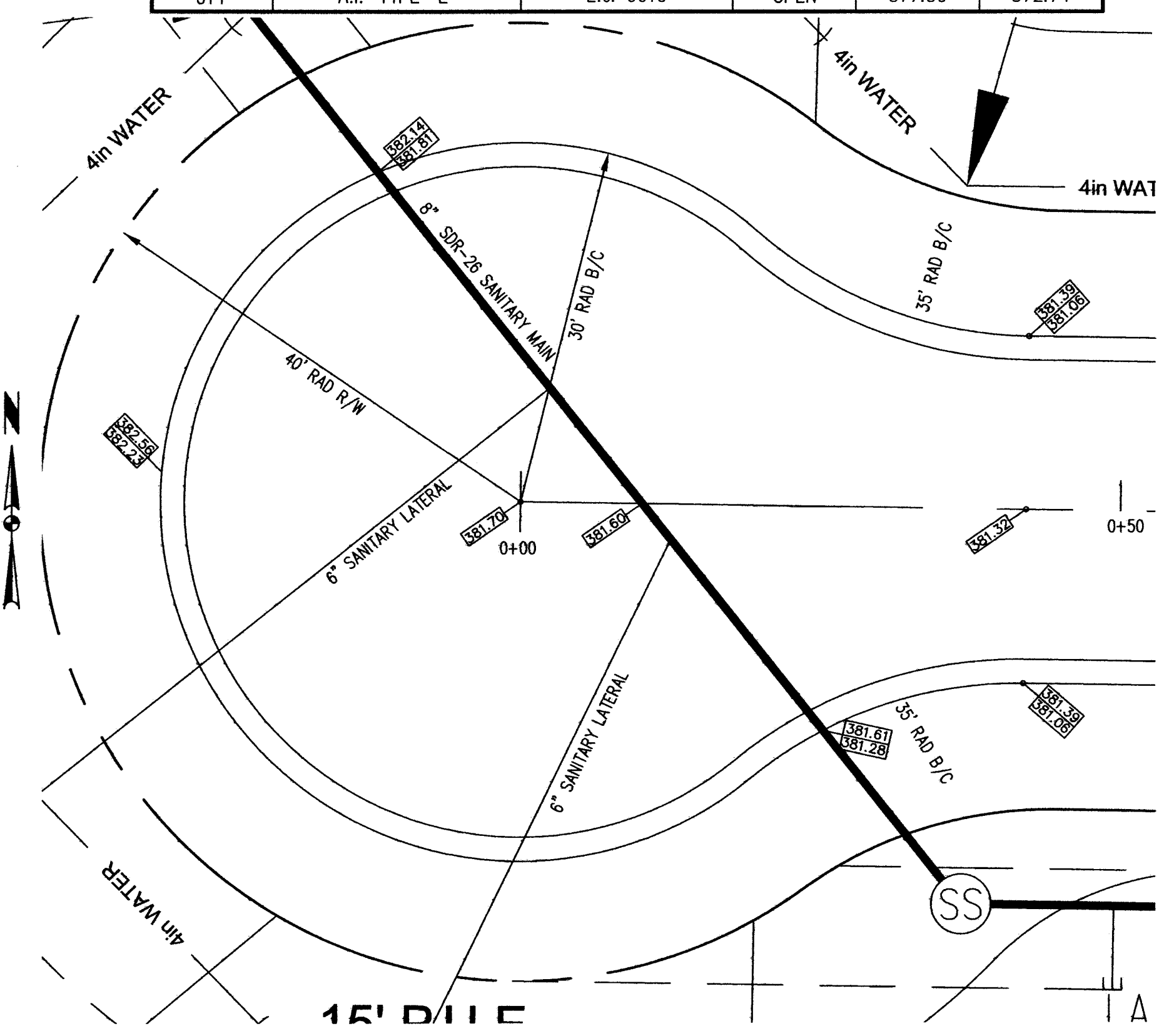
LEGEND
 Bc = OUTSIDE DIAMETER
 D = INSIDE DIAMETER
 d = DEPTH OF BEDDING MATERIAL BELOW PIPE

NOTE:
 ALL BEDDING & INITIAL BACKFILL SHALL BE INSTALLED IN 6" TO 12" BALANCED LIFTS
 A MINIMUM 9" OF CLEARANCE SHALL BE PROVIDED ON EACH SIDE OF THE INSTALLED PIPE

NOTE:
 ALL BEDDING & INITIAL BACKFILL SHALL BE INSTALLED IN 6" TO 12" BALANCED LIFTS
 A MINIMUM 9" OF CLEARANCE SHALL BE PROVIDED ON EACH SIDE OF THE INSTALLED PIPE

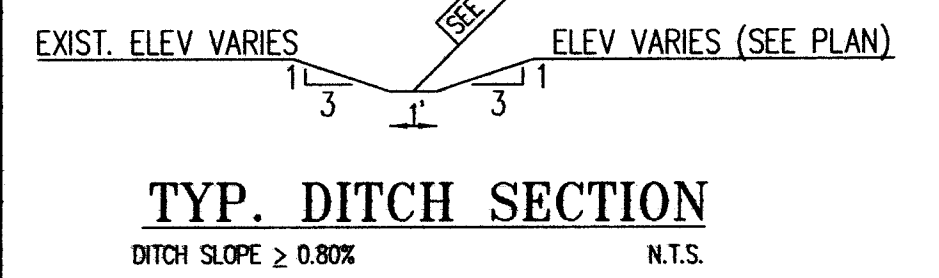
PIPE BEDDING DETAIL

PIPE BEDDING DETAIL

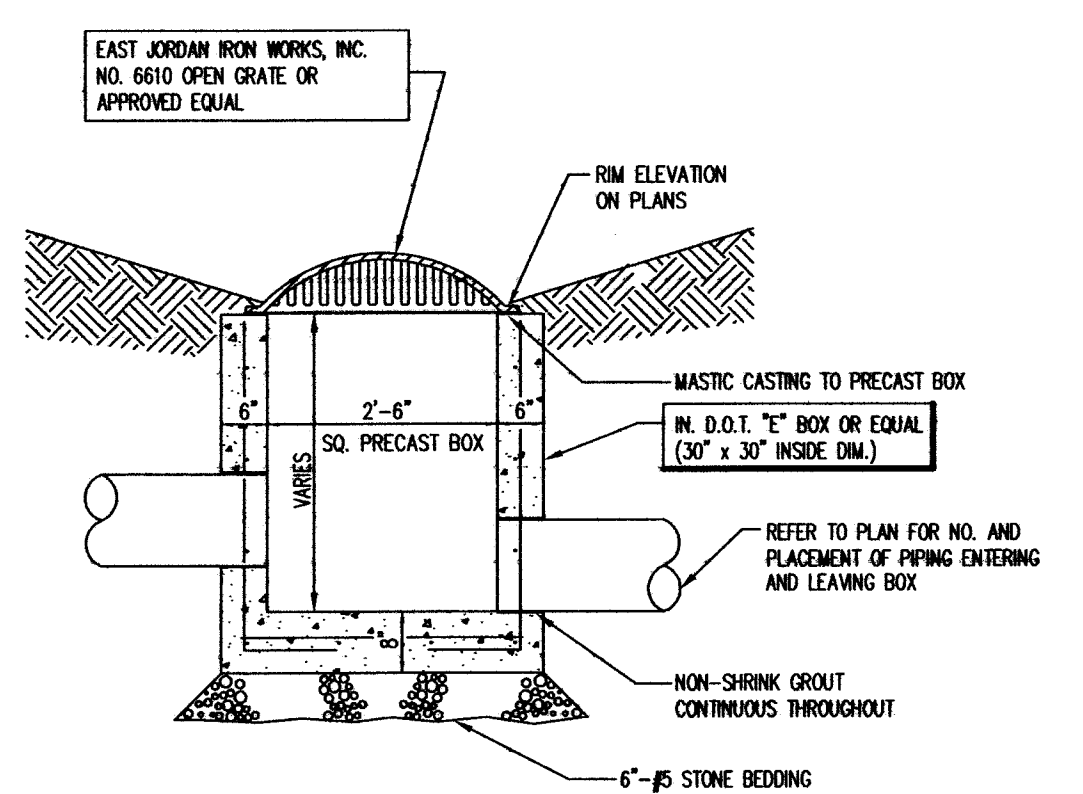


TYP. DITCH SECTION
 W/CONC. RIBBON LINER
 DITCH SLOPE < 0.80%

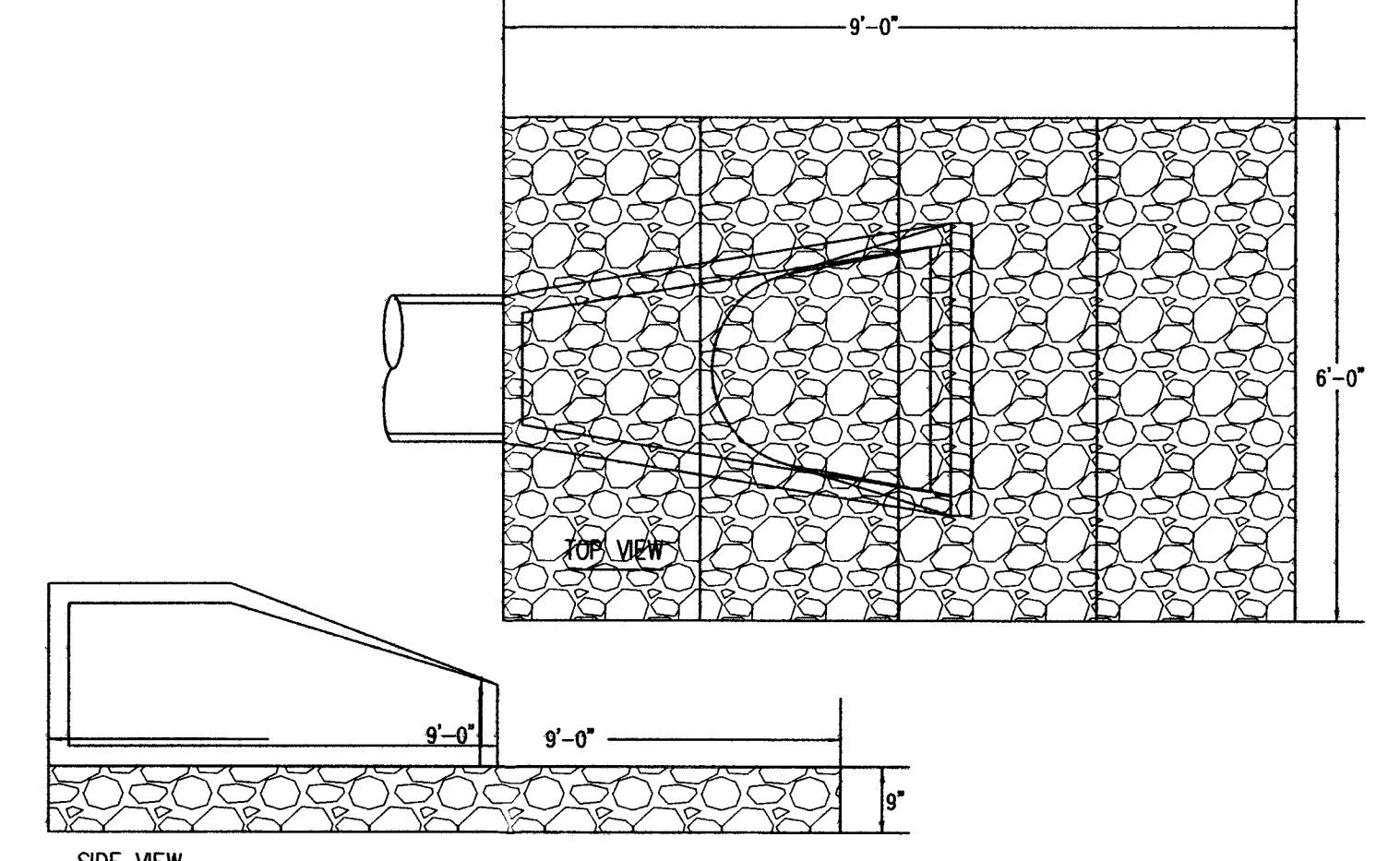
FOR DITCH FLOWLINES OF 0%-2% USE "VERDYOL ERO-MAT STANDARD" EROSION CONTROL BLANKET OR APPROVED EQUAL ON SEEDED GRASS LINED CHANNEL.
 FOR DITCH FLOWLINES OF 2%-6% USE STAKED SOD ON BOTTOM OF DITCH EROSION CONTROL BLANKET OR APPROVED EQUAL.



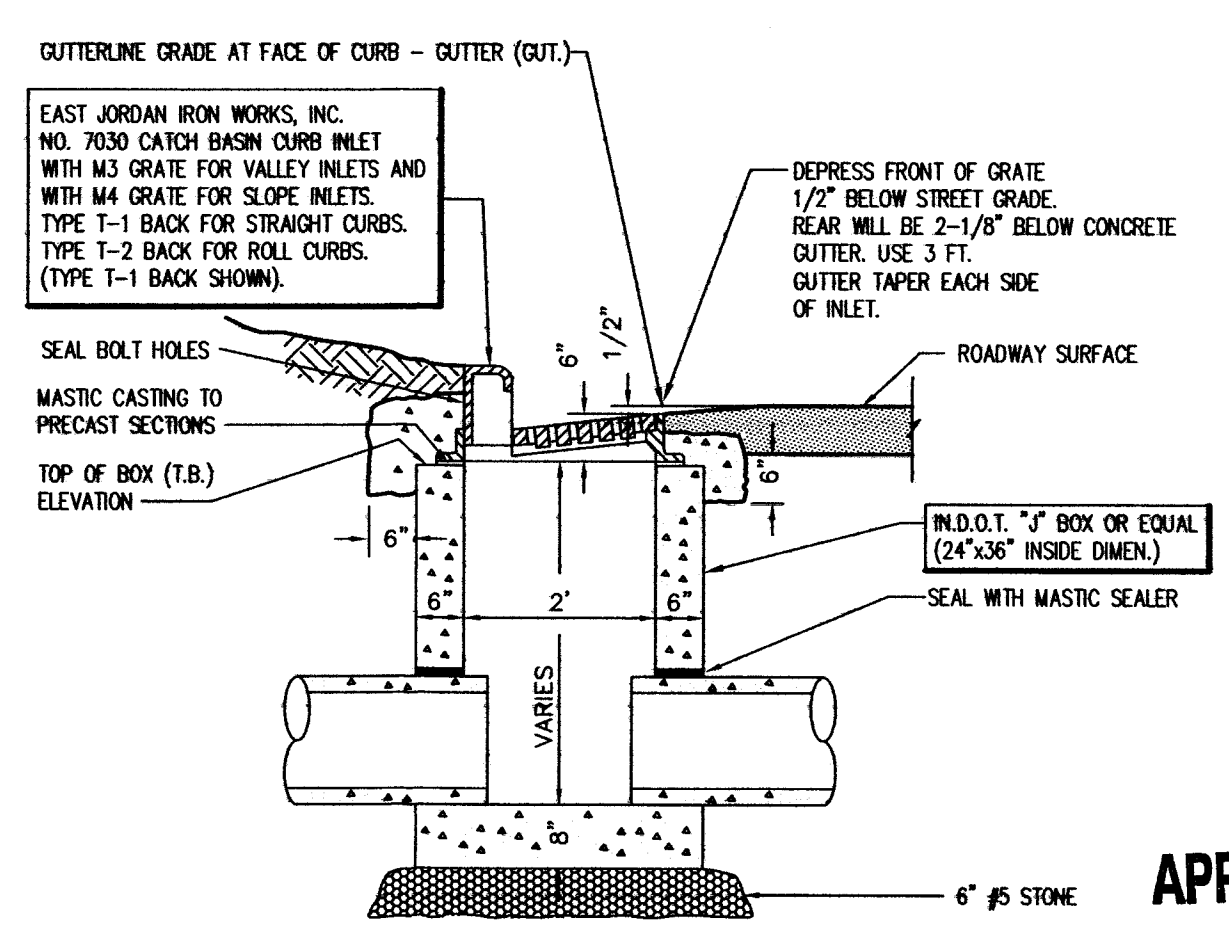
TYP. DITCH SECTION
 DITCH SLOPE > 0.80%



AREA INLET DETAIL
 TYPE "E-6610" SCALE: N.T.S.



RENO MATTRESS DETAIL
 SCALE: N.T.S.



CURB INLET DETAIL
 TYPE "J-7030" SCALE: N.T.S.

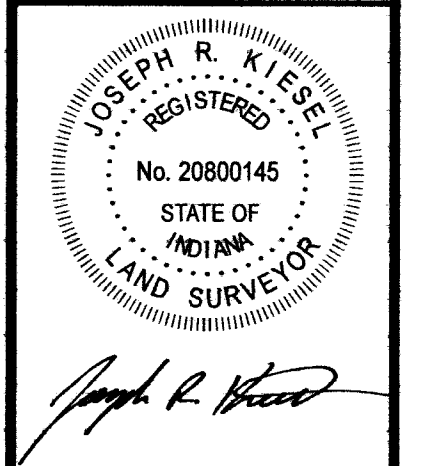
When dimensions on these drawings are in conflict, the dimensions shown on the drawings shall prevail. The contractor shall be responsible for all dimensions and conditions on the job and KISEL-WAGNER SURVEY, LLC must be notified of any variations from the dimensions and conditions shown by these drawings.



KISEL-WAGNER SURVEY, LLC
 LAND SURVEYING AND CONSULTING SERVICES
 2711 W.B.R. 68, HAUBSTADT, IN 47639 IN
 PHONE: Joe: 812.305.6259 / Chad: 812.319.3910
 EMAIL: jpw@kws-llc.com / chad@kws-llc.com

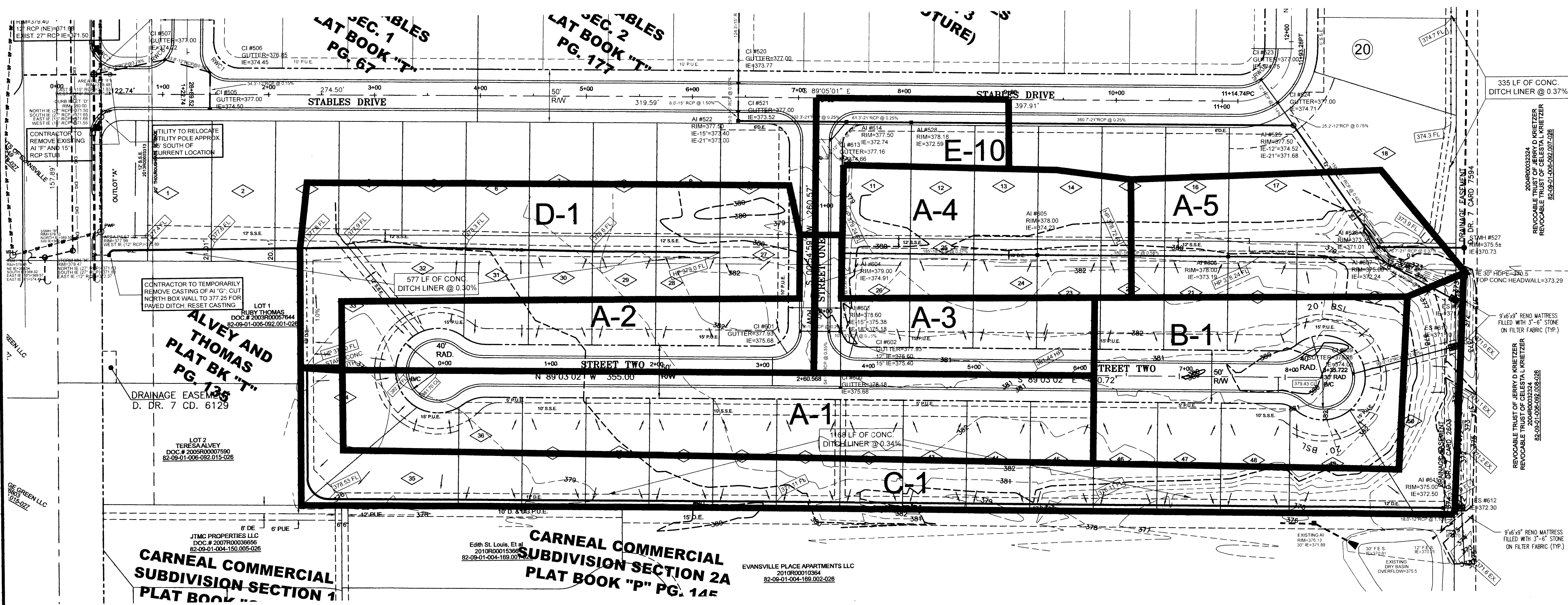
Project: **THE STABLES SOUTH**
 Sheet Title: **DETAILS STORM & DRAINAGE**

Revisions	Description	Date	By

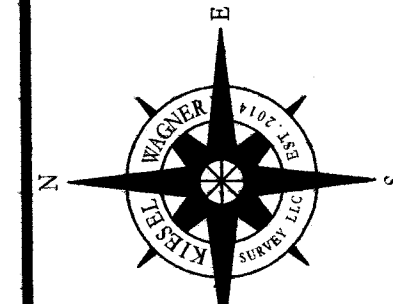


Scale: 1"=50'
 Approved: **APPROVED**
 JUL 21 2015
 VANDERBURGH COUNTY DRAINAGE BOARD
 Designed By: CAW/NRM Job Number: 116-2015-004
 Drawn By: CAW/NRM Date: 7-14-2015
 Filename: BASE.DWG
 Sheet Number: **DE-STRM**

DEVELOPED BASINS



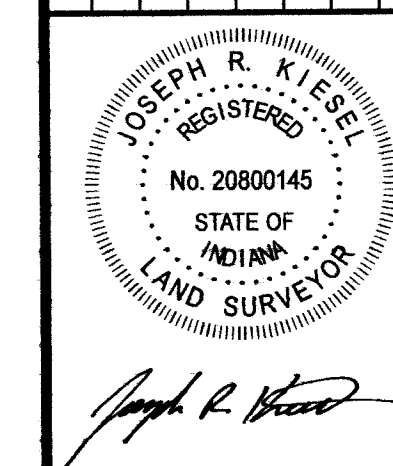
Written dimensions on these drawings shall have precedence over all other dimensions and conditions on the job and ALL DIMENSIONS MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.



KIESEL-WAGNER SURVEY, LLC
 LAND SURVEYING AND CONSULTING SERVICES
 2711 W.S.R. 68, HAUBSTADT, IN 47639
 PHONE: Joe: 812.305.8256 / Chad: 812.319.3910
 EMAIL: joe@kws-llc.com / chad@kws-llc.com

Project: **THE STABLES SOUTH**
 Sheet Title: **DEVELOPED BASINS**

No.	By	Date	Description



Scale: 1"=50'
 Designed By: CAW/NRM Job Number: 116-2015-004
 Drawn By: CAW/NRM Date: 7-14-2015
 Filename: BASE.DWG
 Sheet Number: **BASINS**

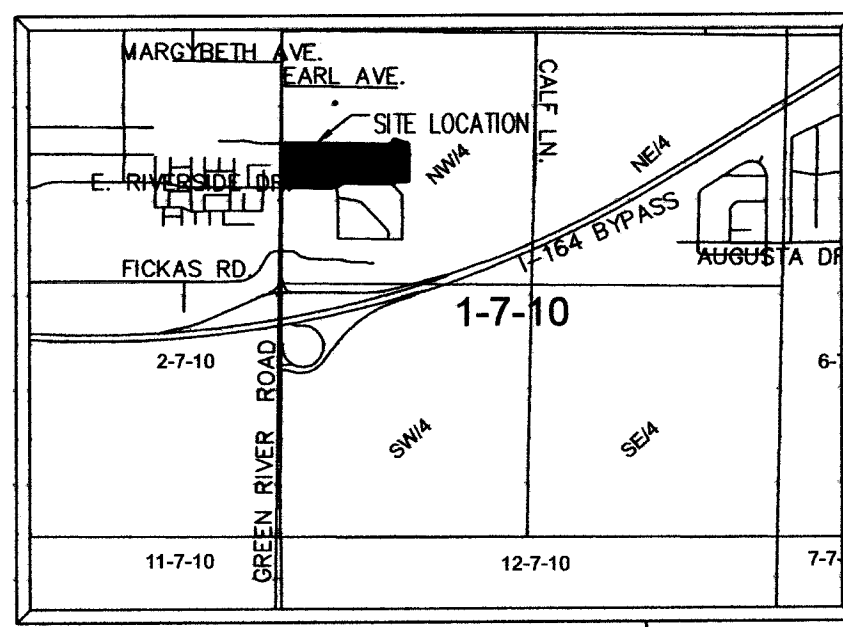
APPROVED
 JUL 21 2015
 VANDERBURGH COUNTY
 DRAINAGE BOARD

ALVEY AND THOMAS
 PLAT BK "T"
 PG. 135
 DRAINAGE EASEMENT
 D. DR. 7 CD. 6129

CARNEAL COMMERCIAL
 SUBDIVISION SECTION 1
 PLAT BOOK "P" PG. 145

CARNEAL COMMERCIAL
 SUBDIVISION SECTION 2A
 PLAT BOOK "P" PG. 145

EVANSVILLE PLACE APARTMENTS LLC
 2010R00010364
 82-09-01-004-189-002-028

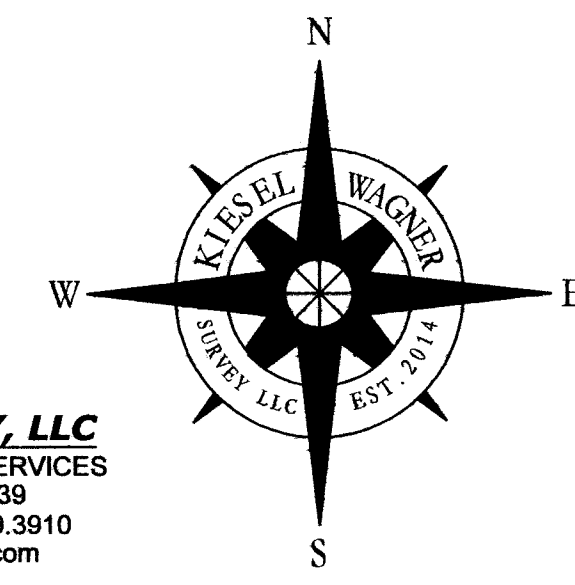


LOCATION MAP
SCALE: 1"=200'

THE STABLES SOUTH PRIMARY PLAT

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C(RW)1	20.00'	31.65'	28.45'	N 45°35'05" E	90°39'49"
C(RW)2	75.00'	95.91'	88.51'	S 54°16'58" W	73°18'29"
C(RW)3	75.00'	47.55'	46.73'	N 72°45'54" E	36°18'16"
C(RW)4	75.00'	48.39'	47.55'	S 39°07'50" W	36°57'53"
C(RW)5	20.00'	31.42'	28.28'	S 44°55'59" E	90°01'58"
C(RW)6	20.00'	31.42'	28.28'	N 72°45'54" E	36°18'16"
C(RW)7	20.00'	31.43'	28.29'	N 45°35'05" E	90°01'58"
C(RW)8	40.00'	62.84'	56.56'	N 72°45'54" E	36°18'16"
C(RW)9	40.00'	62.84'	56.56'	S 44°11'11" E	85°00'41"
C(RW)10	40.00'	62.84'	56.56'	N 34°02'30" E	37°31'57"
C(RW)11	40.00'	62.84'	56.56'	N 72°45'54" E	36°18'16"
C(RW)12	40.00'	62.84'	56.56'	N 89°16'57" W	59°29'19"
C(RW)13	40.00'	62.84'	56.56'	S 37°31'57" W	65°33'37"
C(RW)14	35.00'	52.32'	47.87'	N 72°45'54" E	36°18'16"
C(RW)15	25.00'	31.16'	28.14'	N 76°15'25" W	25°35'15"
C(RW)16	25.00'	31.16'	28.14'	S 62°50'59" W	14°07'40"
C(RW)17	40.00'	62.84'	56.56'	N 76°07'28" W	57°34'43"
C(RW)18	40.00'	62.84'	56.56'	N 20°50'02" E	60°05'49"
C(RW)19	40.00'	62.84'	56.56'	S 68°58'32" E	11°34'50"
C(RW)20	25.00'	31.16'	28.14'	N 71°05'31" E	39°42'54"
C(RW)21	25.00'	31.16'	28.14'	S 44°04'01" E	89°58'02"

THIS INSTRUMENT PREPARED BY:
KIESEL-WAGNER SURVEY, LLC
LAND SURVEYING AND CONSULTING SERVICES
2711 W. S.R. 68, HAUBSTADT, IN 47639
PHONE: Joe: 812.305.6256/ Chad: 812.319.3910
EMAIL: joe@kws-llc.com/chad@kws-llc.com



DULY ENTERED FOR TAXATION SUBJECT TO FINAL ACCEPTANCE FOR TRANSFER

RECEIVED FOR RECORD

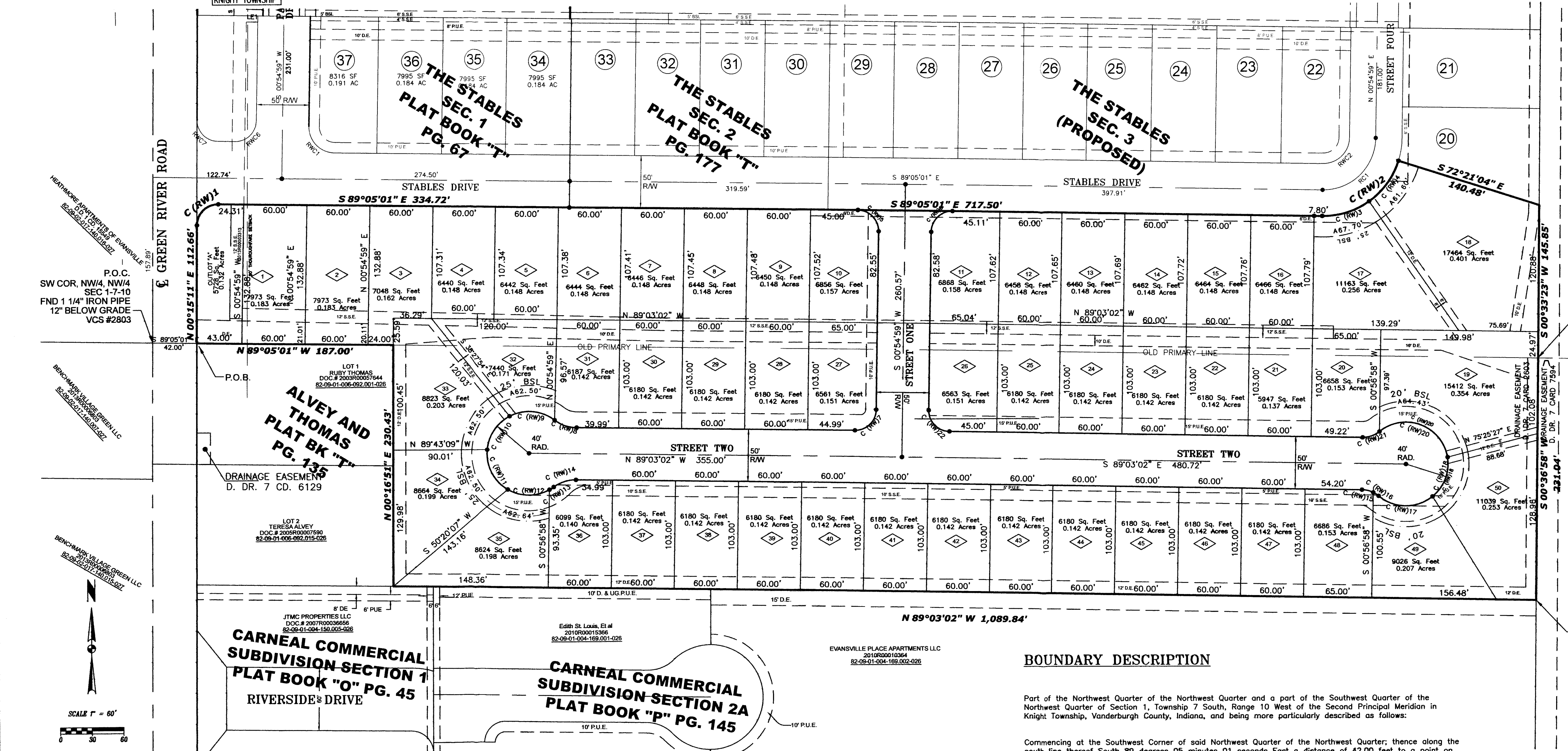
DATE: _____ M

PLAT BOOK: _____

PAGE: _____

INSTR#: _____

Z TULEY RECORDER
VANDERBURGH COUNTY



OWNER'S CERTIFICATE

The undersigned owner of the real estate shown, and described hereon, do hereby plat and subdivide said real estate as shown and designates the same as **THE STABLES SOUTH**. All additional road rights-of-way shown and not previously dedicated are hereby dedicated to public use.

Strips or areas of land, of the dimensions shown on this plat and marked "Public Utility (PUE) Easement", are hereby dedicated for the installation, maintenance, operation, enlargement, and repair of utility facilities, whether above ground or below ground, with the right to trim or remove, at the discretion of the public utility, trees, overhanging branches, bushes, underbrush, and obstructions. No structures other than such utility facilities shall be erected within said areas of land and any fence located within said areas of land is subject to removal by a public utility without liability in the use of said easements by said utility.

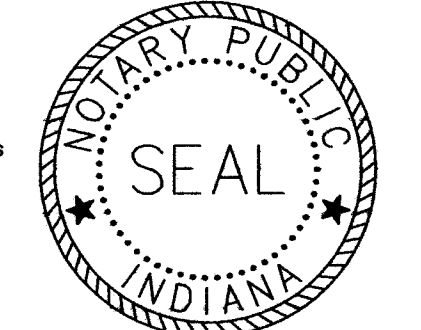
Strips or areas of land, of the dimensions shown on this plat and marked "D.E." (Drainage Easement) are hereby dedicated for conveyance of surface water and/or subsurface water; provided however, that public utilities are hereby permitted to cross such Drainage Easements with utility facilities provided, that such facilities are not placed in such a manner as to impede the flow of the property owner is responsible for maintenance and erosion control of said easements and shall not place landscaping, earth berms, fences or other obstructions that impede or reduce the flow of water.

Strips or areas of land, of the dimensions shown on this plat and marked "S.S.E." (Sanitary Sewer Easement), are hereby dedicated to the sanitary sewer utility for the installation, maintenance, operation, enlargement, and repair of utility facilities, with the right to trim or remove at the discretion of the sanitary sewer utility, trees, overhanging branches, bushes, underbrush, and obstructions. No buildings or similar structures, other than such utility facilities, can be located within said areas of land. Any fence located within said areas of land is subject to removal by the sanitary sewer utility without liability in the use of said easements by said utility.

2400 Green River Investments LLC
Chris A Combs, Member
5733 Shadow Creek Ln.
Newburgh, IN 47630

NOTARY CERTIFICATE

STATE OF INDIANA, COUNTY OF VANDERBURGH) ss:
Before me, the undersigned, a Notary Public in and for said County and State, personally appeared the above signed Owners of the real estate shown on described hereon and acknowledged the execution of this plat to be their voluntary act and deed.



Witness my hand and seal this _____ day of _____, 20____.

My Commission Expires: _____

Notary Resides in _____
County, Indiana _____
(typed or printed name)

STORM DRAINAGE PLANS WERE APPROVED BY THE VANDERBURGH COUNTY DRAINAGE BOARD

ROADWAY CONSTRUCTION PLANS WERE APPROVED BY THE VANDERBURGH COUNTY COMMISSIONERS

DATE _____ DATE _____

SANITARY SEWER PLANS WERE APPROVED BY THE EVANSVILLE WATER AND SEWER UTILITY BOARD ON: _____

DATE _____ S-NUMBER _____

AREA PLAN COMMISSION CERTIFICATE

Under the authority provided by the acts of 1981, public law #309, and enacted by the General Assembly of the State of Indiana, this plat has been given PRIMARY APPROVAL by the AREA PLAN COMMISSION OF EVANSVILLE AND VANDERBURGH COUNTY at a meeting held on Month day, 2015.

President _____ Attest Executive Director _____

A.P.C. DOCKET #X-S-2015
SECONDARY PLAT complies with the Ordinance and is released for recording.

Executive Director _____ PLAT RELEASE DATE: _____



APPROVED
JUL 21 2015

DATE: 06-15-2015; PROJ: 116-2015-004; FILE: Primary Plat 2.DWG

GENERAL NOTES

- Utilities:** Sanitary sewer, water, gas, electric, and telephone are available by extension.
 - Flood Plain Data:** The Subject Parcel lies within the Shaded Zone X, areas protected by a levee, as said parcel plots by scale on the Flood Insurance Rate Map (FIRM) Community Panel 18163C0205D, dated March 17, 2011.
 - Lot Drainage:** Individual lot owners are responsible to construct and maintain respective lot grades in such a manner as to allow stormwater runoff from abutting lots to flow freely to drainage swales or street curbs.
 - Road Grades:** Maximum road grades will not exceed 5.00%
 - Temporary Erosion Control:** (during construction)
- For subdivisions where the land disturbance is in excess of one acre, a Storm Water Pollution Prevention Plan must be submitted in accordance with Vanderburgh County Code Title 13.05 "Construction Site Storm Water Runoff Control". All temporary and permanent erosion control measures must be implemented as described in the Storm Water Pollution Prevention Plan for the project site. For subdivisions where the land disturbance is less than one acre, temporary stabilization as described in section 13.05.11.C.16 of the Vanderburgh County Code must be provided if unvegetated areas are scheduled or likely to be left inactive for 15 days or more. When land disturbing activities have been completed, final stabilization shall be completed as described in section 13.05.11.C.20 of the Vanderburgh County Code.
- Property Corner Markers:** All corners not currently marked will be marked with a 5/8" rebar with pink cap stamped "KIESEL LS 20800145".
 - Storm Drainage Maintenance:** Each Lot Owner within this subdivision shall be financially responsible for the grass cover, mowing and cleaning of any part of the storm water drainage system, including inlets, banks and preservation of the design flowline elevations lying within their respective Lot. Lot Owners shall not construct or place any obstruction within drainage easements which will interfere with the flow of surface water along drainage easements.

- Drainage Facility Maintenance:** The individual Lot Owner shall be responsible, financially and otherwise, for maintaining the portion(s) of the storm water drainage system and Drainage Easements (DE), which exist on his or her property in working order including:
- "Mowing grass, controlling weeds, and maintaining the designed cover for the waterways, storage basins, and easements in accordance with applicable ordinances.
 - "Keeping all parts of the storm water drainage system operating as designed and constructed; and free of all trash, debris, and obstructions to the flow of water.
 - "Keeping the channels and bottoms of waterways free of all erosion and sedimentation.
 - "Maintaining that part of the storm water drainage system which lies on his or her property in accordance with the conditions described on the approved street and/or drainage plans on file in the County Surveyor's Office, and/or in the County Engineer's Office, and in compliance with the County Drainage Ordinance."
 - "Preventing all persons or parties from causing any unauthorized alterations, obstructions, or detrimental actions from occurring to any part of the storm water drainage system and easement which lies on his or her property."
 - "The Rebar Fund established for this Project will pay the costs of repairing structural failures in the storm sewer pipes, pipe collars, drop boxes, aprons, inlets, manholes, junction boxes, and the piped or paved outlet structures of the storm water control basins all of which are parts of the approved and constructed storm water drainage system shown on the as-built plans for this Subdivision; and which are in drainage easements and outside of the county accepted road rights-of-way as shown on the plat of this subdivision."
 - "NOTICE: Any pipe, fence, wall, building, pool, patio, planting, stored material, excavation, fill, or other construction, improvement, addition to, or alteration of the of the land within a drainage easement in this subdivision requires the prior written approval of the County Drainage Board."
 - Mailbox Statement:** No brick or non-breakaway mailbox structures may be placed in the County rights-of-way.
 - Contours:** Contours are per a field survey and reflect the NAVD 1988 datum

BOUNDARY DESCRIPTION

Part of the Northwest Quarter of the Northwest Quarter and a part of the Southwest Quarter of the Northwest Quarter of Section 1, Township 7 South, Range 10 West of the Second Principal Meridian in Knight Township, Vanderburgh County, Indiana, and being more particularly described as follows:

Commencing at the Southwest Corner of said Northwest Quarter of the Northwest Quarter; thence along the south line thereof South 89 degrees 05 minutes 01 seconds East a distance of 42.00 feet to a point on the East right-of-way of Green River Road, said point being the Point of Beginning; thence along said East right-of-way, North 00 degrees 15 minutes 11 seconds East a distance of 112.66 feet to the South right-of-way of Stables Drive in the Stables Section One subdivision as per Plat Book "T", page 67, recorded in the office of the Recorder of Vanderburgh County; thence along said South right-of-way northeasterly 31.65 feet along an arc to the right having a radius of 20.00 feet and being subtended by a chord having a bearing of North 45 degrees 35 minutes 05 seconds East and a length of 28.45 feet; thence continue along said right-of-way, thence South 89 degrees 05 minutes 01 seconds East a distance of 334.72 feet to the Southwest corner of said subdivision; thence continue South 89 degrees 05 minutes 01 seconds East a distance of 717.50 feet; thence northeasterly 95.91 feet along an arc to the left having a radius of 75.00 feet and being subtended by a chord having a bearing of North 54 degrees 16 minutes 58 seconds East and a length of 89.51 feet; thence South 72 degrees 21 minutes 04 seconds East a distance of 140.48 feet to the East line of said Northwest Quarter of the Northwest Quarter; thence along said East line, South 00 degrees 33 minutes 23 seconds West a distance of 145.85 feet to the Northeast corner of the Southwest Quarter of the Northwest Quarter of said Section; thence along the East line thereof, South 00 degrees 36 minutes 58 seconds West a distance of 231.04 feet to the Northeast corner of Carneal Commercial Subdivision, as per plat thereof, recorded in Plat Book "P", Pg. 145 in said Recorder's Office; thence along the North line thereof, North 89 degrees 03 minutes 02 seconds West a distance of 1,089.84 feet to the Southeast corner of the Southwest Quarter of said Section; thence along the North line thereof, North 00 degrees 16 minutes 51 seconds East a distance of 230.43 feet to the Northeast corner of said Subdivision; thence along the North line thereof, North 89 degrees 05 minutes 01 seconds West a distance of 187.00 feet; to the Point of Beginning, containing 9.800 acres, more or less.

Subject to all Easements and Rights-of-Way of record.

SURVEYOR'S CERTIFICATE

I, Joseph R. Kiesel, hereby certify that I am a land surveyor, licensed in compliance with the laws of the State of Indiana, and further certify that this plat correctly represents a survey completed by me on February 18, 2015 and that all monuments shown exist at all locations as noted.

Witness my hand and seal this 20th day of April, 2015.

Joseph R. Kiesel
LS 20800145

