



***RL*Lehman Consulting**

Building Code • Plan Review • Project Management

Roger L. Lehman, CBO

Jan. 05, 2018

To: Jeff Mueller, Vanderburgh County Surveyor

Re: 2217 ST. Joe Industrial Park Rd Building Addition

PLANNED AREA to be PAVED THIS PROJECT

Mark	Item	Area, sf
1	Building /Lean To	4,816
2	Building Apron	3,806
6	Sidewalk	120
3	West Roadway	4,500
	Total =	13,442
	Original plan approved but not paved	4,800
	Net impervious area this project	9,642

Original site plan filed and approved in 1999 had an impervious surface area of 23,785 sq. ft., of paving along with the 11,200 sq.ft. original building. 4,800 sq. ft. of that will not be paved as it has been converted to a gated gravel storage yard. The net area of paving for this project is 9,642 sq. ft.

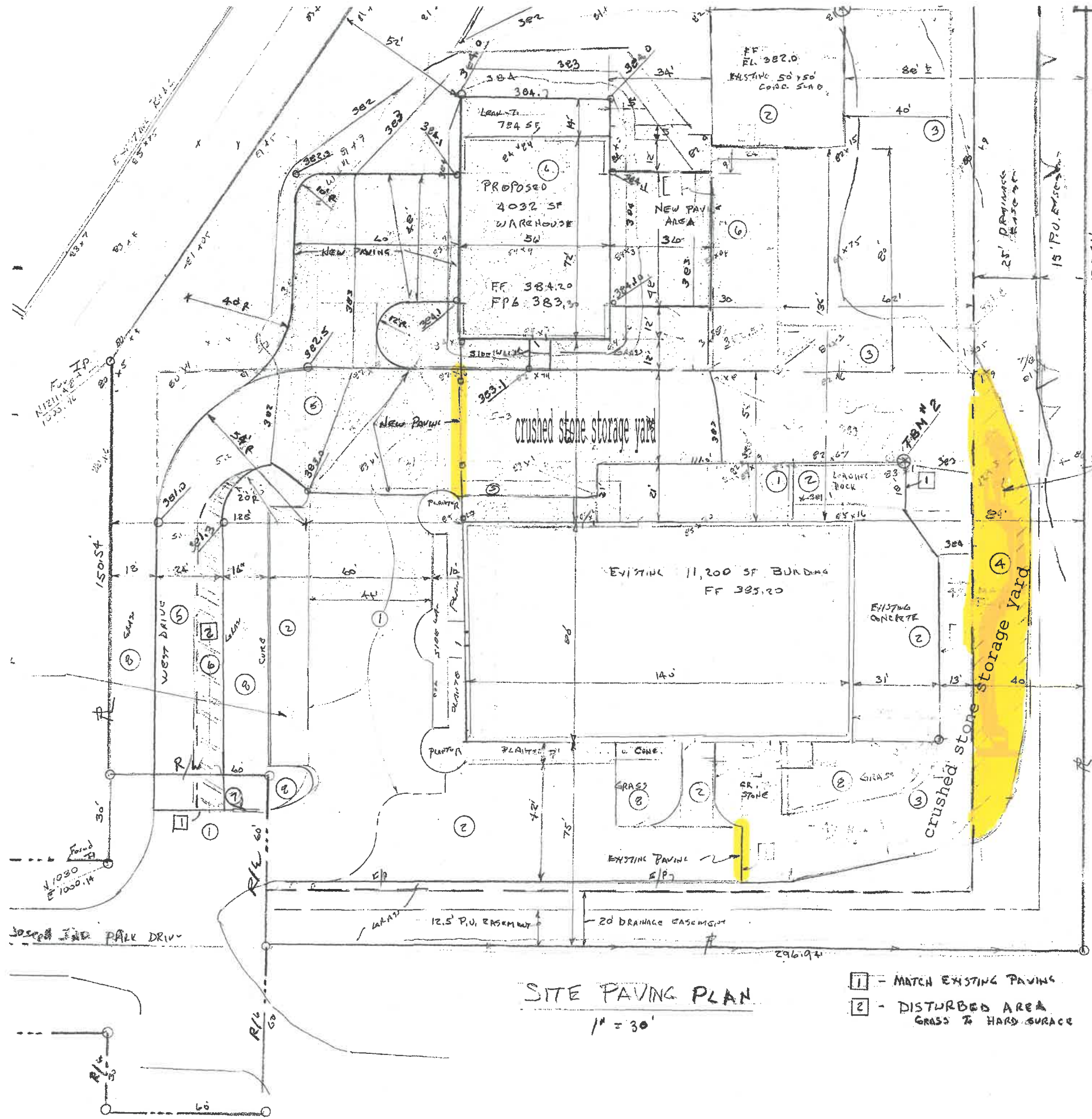
A handwritten signature in cursive script, appearing to read 'Roger L. Lehman'.

Roger L Lehman, Principal

Rlehman Consulting

RECEIVED BY THE
VANDERBURGH COUNTY
SURVEYOR'S OFFICE

1-11-18 CA



REMOVE or apply for encroachment
EXISTING CR STONE
IN DRAINAGE EASEMENT WITH SIMILAR SIDE SLOPE TO BANK

TBM #1 EL. 381.97
NE CORNER 50' x 50' CONC. SLAB
NORTH OF MAIN BLDG.

TBM #2 EL. 383.60
SE CORNER OF CONC. RETAINING
WALL OF DOCK AT NE CORNER MAIN BLDG.



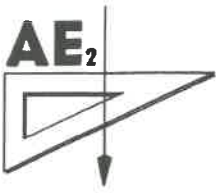
REVISION #1 REVISION DRIVE
DEC. 06, 2017 R.N.H.
Reginald N. Heck
Nov. 16, 2017

RECEIVED BY THE
VANDERBURGH COUNTY
SURVEYOR'S OFFICE
1-11-18 CA

SITE PAVING PLAN
1" = 30'

- 1 - MATCH EXISTING PAVING
- 2 - DISTURBED AREA
GRASS & HARD SURFACE

TRA - STATE PAINTING 2217 ST. JOSEPH INDUSTRIAL PARK DR. EVANSVILLE 277		
SCALE: 1" = 30'	APPROVED BY:	DRAWN BY R.N.H.
DATE: Nov. 2, 2017		REVISED
FOR: HOBGOOD POST FRAME, INC		
EVANSVILLE, IN.		
BY: HECK ENGINEERING 812-479-7944	DRAWING NUMBER 1734-6	



ANDY EASLEY ENGINEERING, INC.

1133 WEST MILL ROAD
EVANSVILLE, INDIANA 47710

TELEPHONE (812) 424-2481
FACSIMILE (812) 425-3463

E-MAIL: easley@evansville.net
www.easleyengineering.com

CIVIL ENGINEERS
LAND SURVEYORS
REGISTERED IN
INDIANA • KENTUCKY • ILLINOIS
RALPH A. EASLEY, JR. P. E.

QTR, INC.
LOT 4/5 ST. JOSEPH INDUSTRIAL PARK
PROPOSED DEVELOPMENT

2217 ST. JOSEPH INDUSTRIAL PARK DRIVE
EVANSVILLE, IN

QTR, INC.
NEW WAREHOUSE AND OFFICE BUILDING

DRAINAGE REPORT

PRELIM. PLAN
APPROVED 9/27/05



Ralph A. Easley, Jr.

Ralph A. Easley, Jr., P.E.
Andy Easley Engineering, Inc.
1133 W. Mill Rd. Suite 205
Evansville, IN 47710

Submitted
September 21, 2005
Vanderburgh County Surveyor
Bill Jeffers

9/22/05
11:45 am
RECEIVED BY THE
VANDERBURGH COUNTY
SURVEYOR'S OFFICE
TH

This report is presented on behalf of QTR, Inc., Kunkel Group and the proposed development at 2217 St. Joseph Industrial Park Drive on Evansville's Northwest side. The development will be for the construction of 60,000 square foot office and manufacturing warehouse and appurtenant parking and drives. Located upon 7.906 acres North of St. Joseph Industrial Park Drive and located between St. Joseph Avenue and the Illinois Central Railroad, the existing ground has moderate slopes to the North. The property and upstream watershed is drained by Locust Creek within the Northern portions of the property..

The existing conditions of the undeveloped acreage has no hard surface coverage of building, asphalt or hard-pack gravel and has been historically used for agricultural crops. Knowing that the proposed development will have 36% of hard surface coverage of buildings, pavement, and water surface with the remainder under lawn conditions, storm drainage facilities must be provided for the site. All pavement and building runoff will be directed to the retention pond where the storm water will be detained for the 25 year storm event before being discharged to the St. Joseph Industrial Park's drainage channel at the edge of Lot 4 draining to Locust Creek.

The property is affected by the floodway of Locust Creek. At this time, no excavation should occur in the Floodway as scaled from the Little Pigeon and Locust Creek study performed by the USACE. If the development requirements change to where any work requires a floodway construction permit, Indiana Department of Natural Resources will be contacted prior to any construction.

DRAINAGE CALCULATIONS

Historical Conditions

Total Area 7.609 Acres

- Pasture and Fallow Brush 32.801 acres
- L (length of watershed) = 825 feet
- S (slope of Watershed(overall)) = 0.0027 ft/ft
- N = 0.20

Runoff Coefficient

c = 0.12

Time of Concentration (Kerby's Formula)

$$t_c = 0.827[(L*N) \div (\sqrt{S})]^{0.467}$$

$$t_c = 0.827 [(825 * 0.2) \div \sqrt{0.0027}]^{0.467}$$

$$t_c = 35.7 \text{ minutes}$$

From the Rainfall Intensity as per Vanderburgh County Drainage Ordinance
i = 2.96"/hour for a 10 year storm.

$$Q = 0.12 * 2.96 * 7.609 = 2.70 \text{ CFS}$$

Proposed Conditions

Total Area 7.609 Acres (331448.04 sq. ft.)

- Building area 60,000 sq. ft
- Proposed Pavement and Walks 36,362 sq. ft.
- Gravel Pallet area 8,320 sq. ft.
- Lake Surface 15,445 sq. ft.
- Grass and lawn areas 211,321.04 sq. ft.

Developed Runoff Coefficient =

$$c = [(60000*0.94)+(36362*0.92)+(8320*0.7)+(15445*1)+(211321.04*0.15)]\div 331448.04$$

Developed Runoff Coefficient, $C_d = 0.431$

STORM WATER DETENTION CALCULATIONS

Project: QTR, Inc. 2217 St. Joseph Industrial Park Drive

Designer: Easley Engineering

Detention Facility Design Return Period: 25 year

Release Rate Return Period: 10 year

Watershed Area (Au): 7.609

Developed Area (Ad): 7.609

Time of Concentration: 35.7

Rainfall Intensity: (i_s) = 2.96

Undeveloped Runoff Coefficient (C_u) = 0.12

Undeveloped Runoff Rate (Q=(C_u)(i_u)(A_u) = 2.70

Developed Runoff Coefficient (C_d)= 0.431

Storm Duration	Rainfall Intensity	Inflow Rate	Outflow Rate	Storage Rate	Required Storage
t _d (hrs)	i _d (in./hr)	C _d i _d A _D (cfs)	C _u i _u A _u (cfs)	I(t _d) ₀ (cfs)	[I(t _d)-0 t _d]/12 (acre-ft)
0.08	7.936	26.02594534	2.7	23.32594534	0.1555063
0.17	6.616	21.69703306	2.7	18.99703306	0.26912464
0.25	5.697	18.68319186	2.7	15.98319186	0.33298316
0.50	4.194	13.75413493	2.7	11.05413493	0.46058896
1.00	2.412	7.91010335	2.7	5.21010335	0.43417528

Peak storage requirement = 0.46058896 acre-feet = 20063.2550976 cubic feet of storage.

As per the storm water detention calculations, a minimum of 0.461 acre-feet or 20,063 cubic feet of water must be detained on site. The placement of stormwater detention on top of the 15,445 square foot lake with a total detention depth of 15 5/8 inches, a net volume of 20,078 cubic feet of detention is provided.

Knowing that the undeveloped runoff rate is 2.7 cfs, the release structure can be sized.

Using the equation for an orifice discharging freely into the atmosphere:

$$Q = 0.6 * A * (2 * g * H)^{0.5}$$

$$Q = 2.7 \text{ cfs}$$

$$g = 32.2 \text{ ft/sec}^2$$

$$H = 0.5 \text{ ft}$$

$$2.7 = 0.6A(2 * 32.2 * 0.5)^{0.5}$$

$$2.7 = 3.405A$$

$$A = 0.793 \text{ sq. ft.}$$

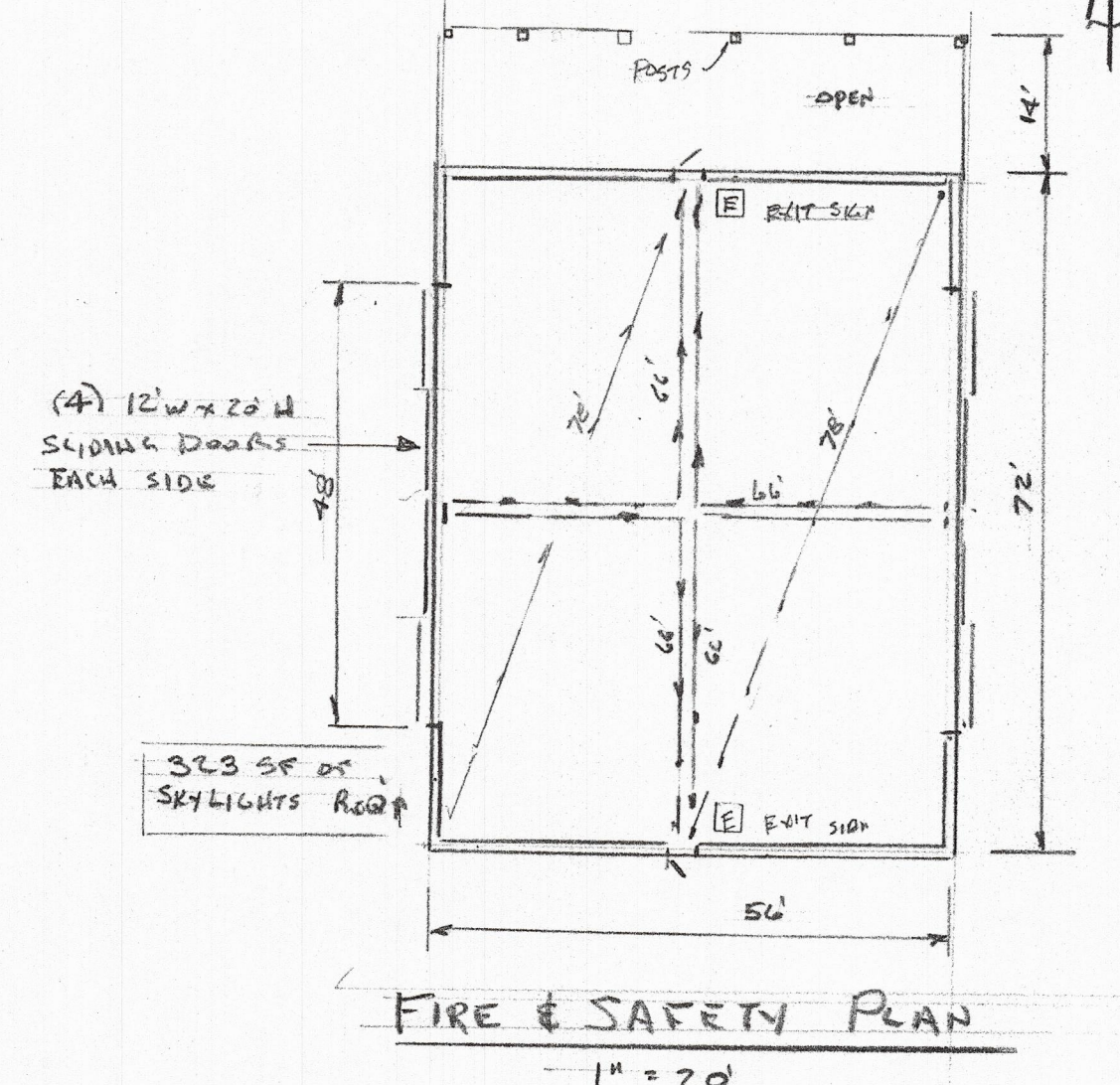
By utilizing an opening of having a radius of 0.502 ft or 6 1/32 inches, the controlled release rate of 2.7 cubic feet per second can freely discharge from the lake to the release structure. Regulated discharge and emergency overflow will be carried via a 4' x 1' box culvert to the West drainage ditch flowing to Locust Creek. See detail sheet for detention basin release structure.

Tri-State Painting Job #1734

DOOR SCHEDULE			
Mark	Size	Each	Comment
D	3'-0 x 6'-10	2	Exterior Metal, Insulated, Latch Hardware Metal Frame, Swing, Lock Set
E	12'-0 x 20'-0	4	Sliding, Metal, Metal Frame W/ Double Tracks
* - 3'-4 x 7'-0 Rough Opening			

WINDOW SCHEDULE			
Mark	Size	Each	Comment
	3'-6 x 6'-0	18	SKY LIGHTS IN 8'-11 1/2" x 11'-4" AREA

INTERIOR FINISH SCHEDULE			
ROOM	FLOOR	CEILING	WALLS
Storage	Concrete	Bubble Wrap Moisture Insulation	Inside Face of Metal Siding



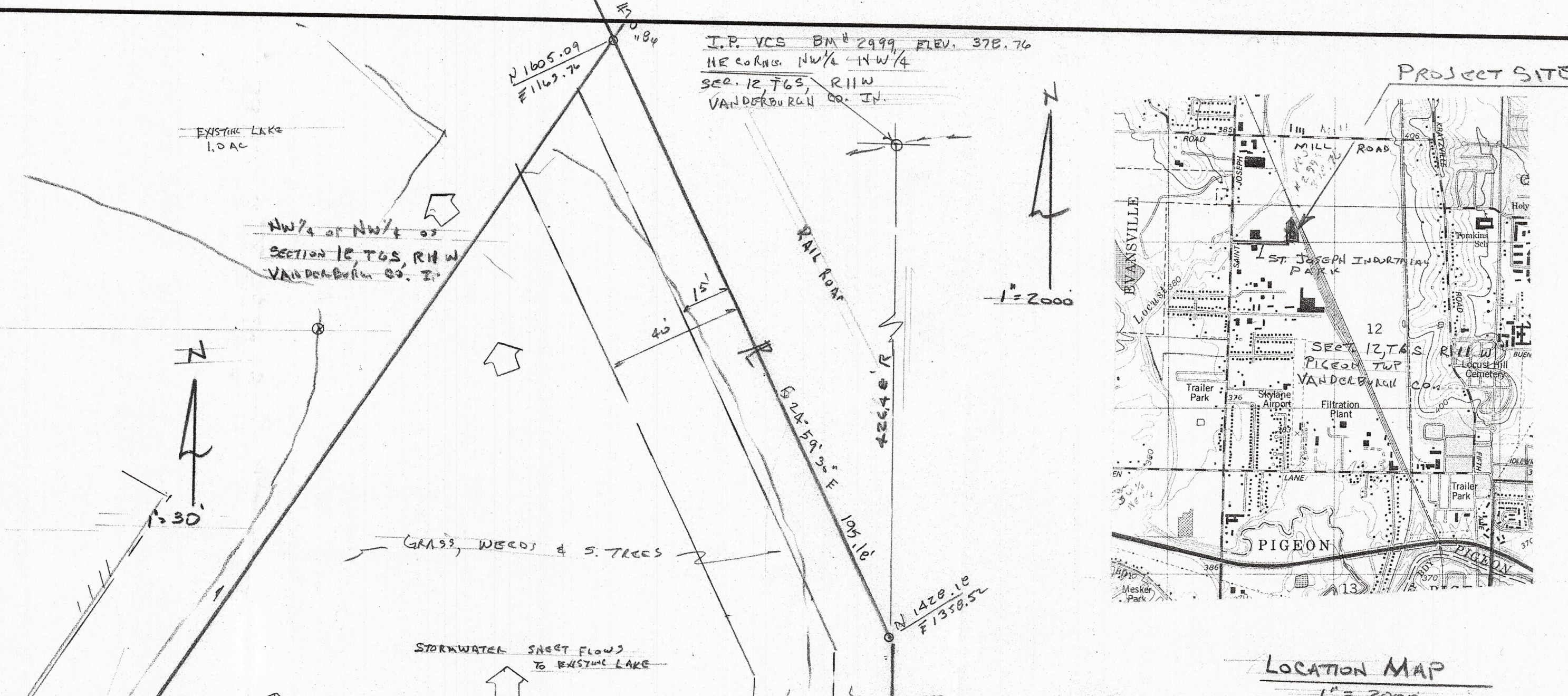
DESIGN CRITERIA:
International Building Code 2014 and all Subsequent Addendums.

Roof - = 20 PSF Live Load / Snow Load plus Actual Dead Load
Walls - = 15 PSF Wind Load
Allowable Soil Bearing = 1500 PSF

GENERAL NOTES:

- All construction shall conform with the latest International Building Code and all state and local codes, including Seismic.
- The State Design Release and Local Building Permit shall be posted on site.
- One set of Design Engineer's Stamped Plans shall be kept on site.
- All construction shall conform to practices to provide protection against any adverse effects on the environment during construction. (e.g., dust, noise, soil erosion).
- Reinforcing Steel shall be Grade 60. All bent reinforcing steel shall be bent with engineer approved Fabricating Equipment; DO NOT heat bend reinforcing bars.
- Concrete shall be 3500 PSI @ 28 days, unless noted otherwise.
- Bolts shall be ASTM A-325, unless otherwise noted.
- All Structural Steel shall be ASTM A-36, unless otherwise noted.
- See Structural Notes for wood additional notes and details.
- Building Not Designed for High Pile Storage per section 9.110.
- Any wood material shown as treated (Bottom Sills of Stud Walls) shall be in accordance with the standard of the American wood Preserval Institute, 0.4 PCF of water born C.C.A. preservative.
- Any Load Bearing Lumber used for this project shall be in accordance with the National Design Curant Specifications.
- All Truss and Purin Hangers not furnished by the steel building Manufacturer shall be submitted to engineer for approval.
- Exit Doors shall Swing outward and be openable from the inside without the use of Key or any special knowledge or effort. Door Knobs not allowed, use lever type.
- Existing HCA Rest Rooms are in existing adjacent building on property
- All Sliding Door Hardware to be "CanonBall -Bigg Frame" or submitted to Engineer for approval.

NO ELECTRICAL this Contract. Light Provided by Skylights
NO PLUMBING
NO HVAC



2217 SAINT JOSEPH INDUSTRIAL PARK DR
Property Record Card | Show On Map
82-05-01-002-734.001-019

Brief Legal Description (Not for Use on Legal Documents):
REPLAT OF LOT 4 & PT LOT 5 ST JOSEPH INDUSTRIAL PARK SEC A PT LOT 4 11-16-99 PL BK Q PG 51 CUT OUT OF 2-446-1 2 & 8 CENTER TOWNSHIP TOWNSHIP

Property Owner: RKR PROPERTIES LLC
Owner's Address: RK DR, EVANSVILLE, IN 47720
City: 3.47 Ac ±
PART OF LOT 4 OF REPLAT OF ST. JOSEPH INDUSTRIAL PARK SECTION "A"

FLOOD ZONE
18143 CO 113 D
BE 302.2
PC 304.2

- INDEX
- SITE PLAN, LOCATION MAP, NOTES, DOOR, WINDOW & FINISH SCHEDULES
 - FIRE & SAFETY PLAN, TRUSS DETAIL
 - FLOOR PLAN, TYPICAL SECTION 'A-A'
 - FOUNDATION, TYPICAL SECTION 'B-B'
 - ELEVATIONS & DETAILS
 - ELEVATIONS

Mac Metal Sales & Truss
1650 W. Hwy 80
Scottsboro, KY 42503
606-676-0223

Truss: 72
Job Name: Hodgeood 9-19-17
Designer: CM
Date: 09/20/17 09:11:58
Page: 1 of 1

SPAN	FT/IN	QTY	CHL	CHR	CANTL	CANTR	PLYS	SPACING	WGTY/ LF
72-0	3/12	1	0-0	0-0	0-0	0-0		96 in	

Loading (psf)	General	CSI	Deflection	L/360	(loc)	Allowed
DEAD	10	10	0.00	1/360	1/360	1/360
LIVE	20	20	0.00	1/360	1/360	1/360
WIND	15	15	0.00	1/360	1/360	1/360

Reaction

Reaction	Max	Min	Max	Min
Vertical	428 lb	-428 lb	428 lb	-428 lb
Horizontal	4.41 lb	5.22 lb	4.41 lb	5.22 lb

Material

Bracing

Notes

1) This truss has been designed for the effects of dead load (D), live load (L), wind load (W), and snow load (S) in accordance with ASCE 7-10 with the following user defined input: 13 psf CHL, 20 psf CHR, 15 psf WIND, 10 psf SNOW, 10 psf CHL, 10 psf CHR, 10 psf CANTL, 10 psf CANTR, 10 psf PLYS, 96 in SPACING, 10 psf WGTY/ LF.

2) This truss has been designed for the effects of dead load (D), live load (L), wind load (W), and snow load (S) in accordance with ASCE 7-10 with the following user defined input: 13 psf CHL, 20 psf CHR, 15 psf WIND, 10 psf SNOW, 10 psf CHL, 10 psf CHR, 10 psf CANTL, 10 psf CANTR, 10 psf PLYS, 96 in SPACING, 10 psf WGTY/ LF.

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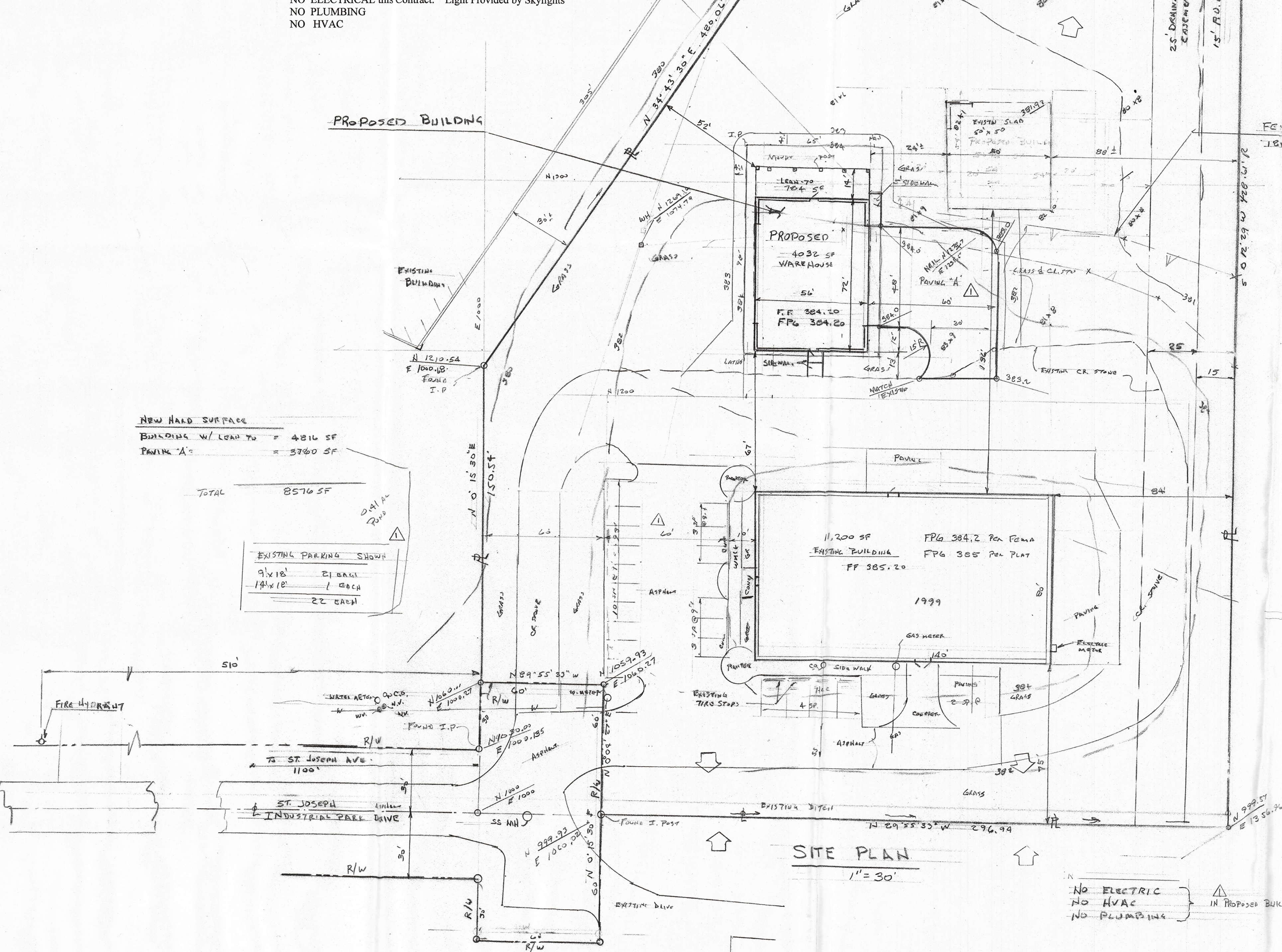
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REVISION #1 - ADD EXISTING PARKING SPACES DETAILS, UTILITIES CONTOURS, & OFF SITE TOPOG

RECEIVED OCT 10 2017 SITE REVIEW

RECEIVED BY THE VANDERBURGH COUNTY SURVEYOR'S OFFICE 10-18-17 CA

TRI-STATE PAINTING STORAGE BUILDING
2217 ST. JOSEPH INDUSTRIAL PARK DRIVE, EVANSVILLE, IN 47720

SCALE: 1" = 30'

DATE: MAY 10 2017

APPROVED BY: [Signature]

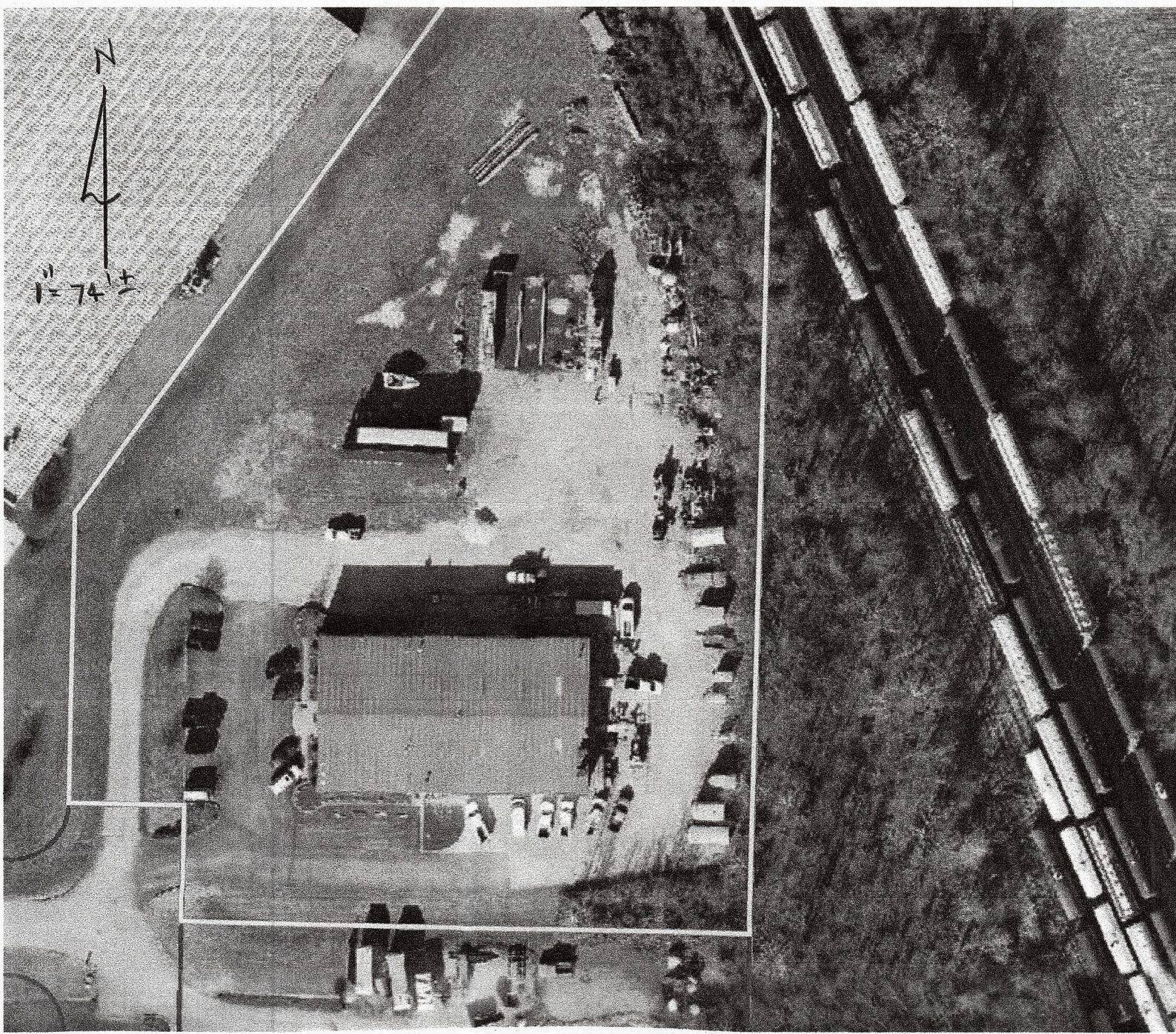
FOR: HODGWOOD POST FRAME, INC
12496 N. HWY 57, EVANSVILLE, IN 47725

BY: HECK ENGINEERING 812-479-7944
2153 E. FLORIDA ST. EVANSVILLE, IN 47711

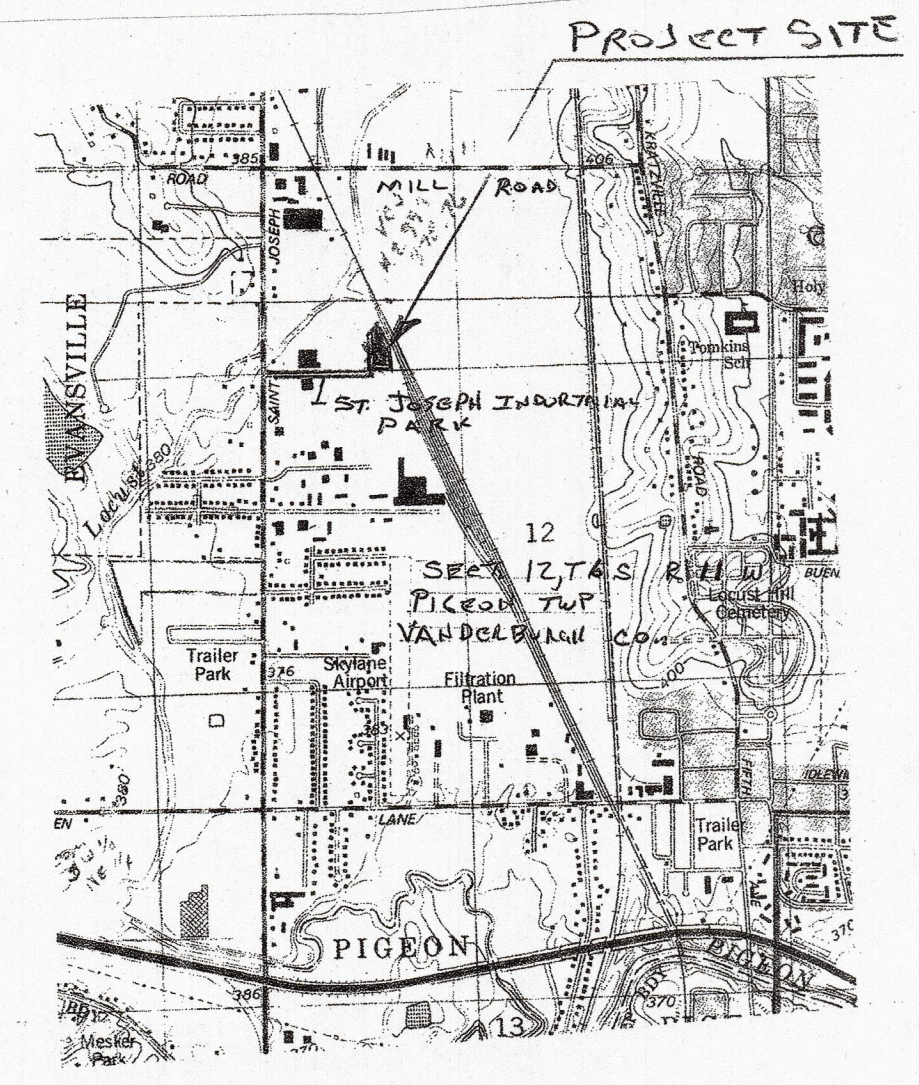
DRAWN BY: R.N. HECK

REVISION

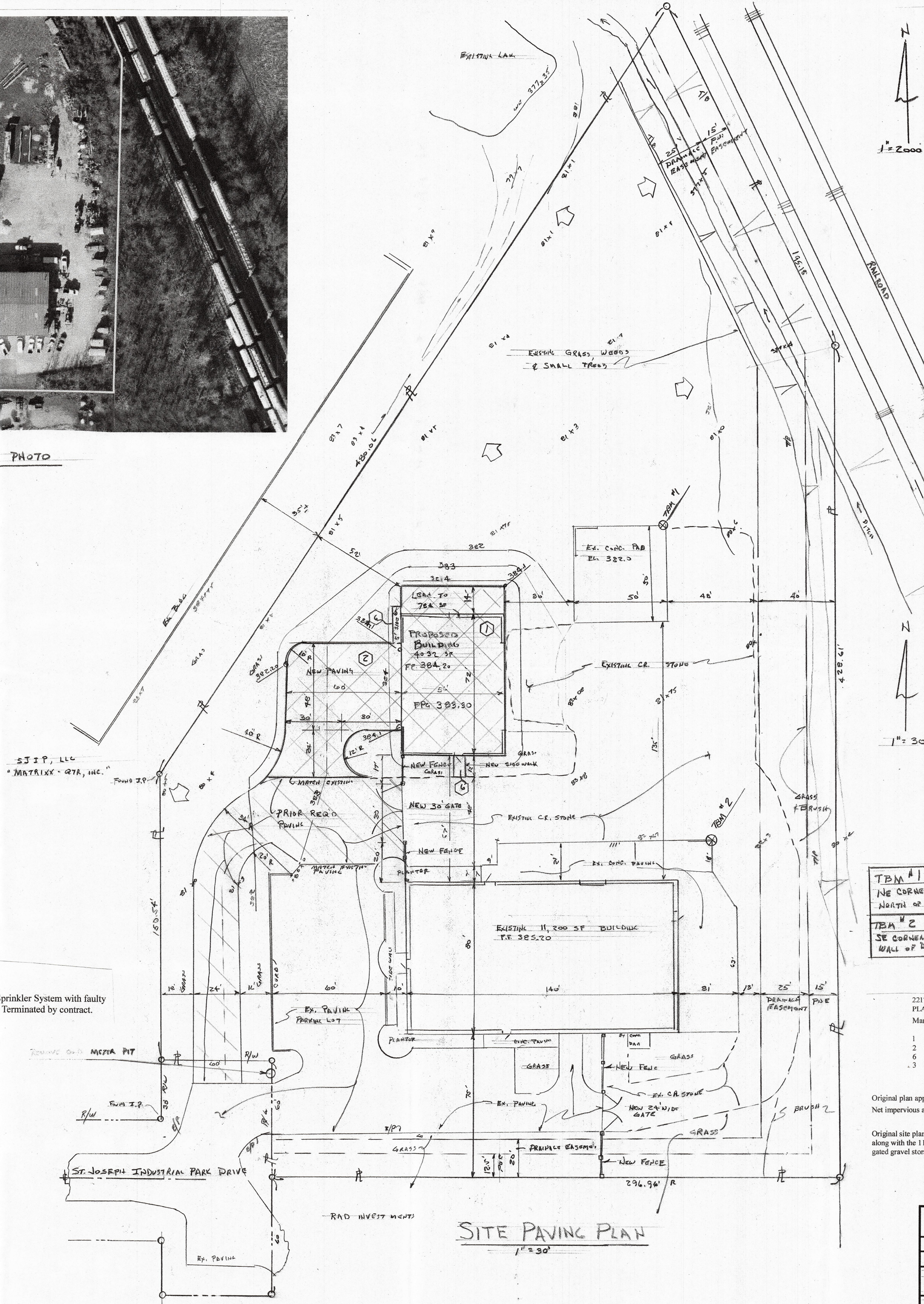
DRAWING NUMBER: 1734 - 1



2016 PHOTO



LOCATION MAP
1" = 2000'



Property Owner: RKR PROPERTIES LLC
 Owner's Address: RK DR
 2217 ST. JOSEPH INDUSTRIAL PARK DRIVE
 City: EVANSVILLE, IN 47720
 3.47 Ac. ±
 PART OF LOT 4 OF REPLAT OF
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 82-05-01-002-734.001-019

TBM #1 EL. 381.97
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 NORTH OF MAIN BLDG.
 TBM #2 EL. 383.60
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REPLACE PRIOR DRAWING #1734-6 DATE: Nov. 16, 2017

TRI-STATE PAINTING STORAGE BUILDING
 2217 ST. JOSEPH INDUSTRIAL PARK DR. EVANSVILLE, IN 47720

SCALE: 1" = 30'	APPROVED BY:	DRAWN BY: P.M.H.
DATE: JAN. 11, 2018		REVISED:
FOR: HOBGOOD POST FRAME, INC. 12946 HWY 57 NORTH EVANSVILLE, IN 47715		
BY: HECK ENGINEERING 212-479-7441 2153 E. FLORIDA ST. EVANSVILLE, IN 47711	DRAWING NUMBER 1734-6	

NOTE:
 Entire existing Landscape Sprinkler System with faulty Backflow Preventor will be Terminated by contract.

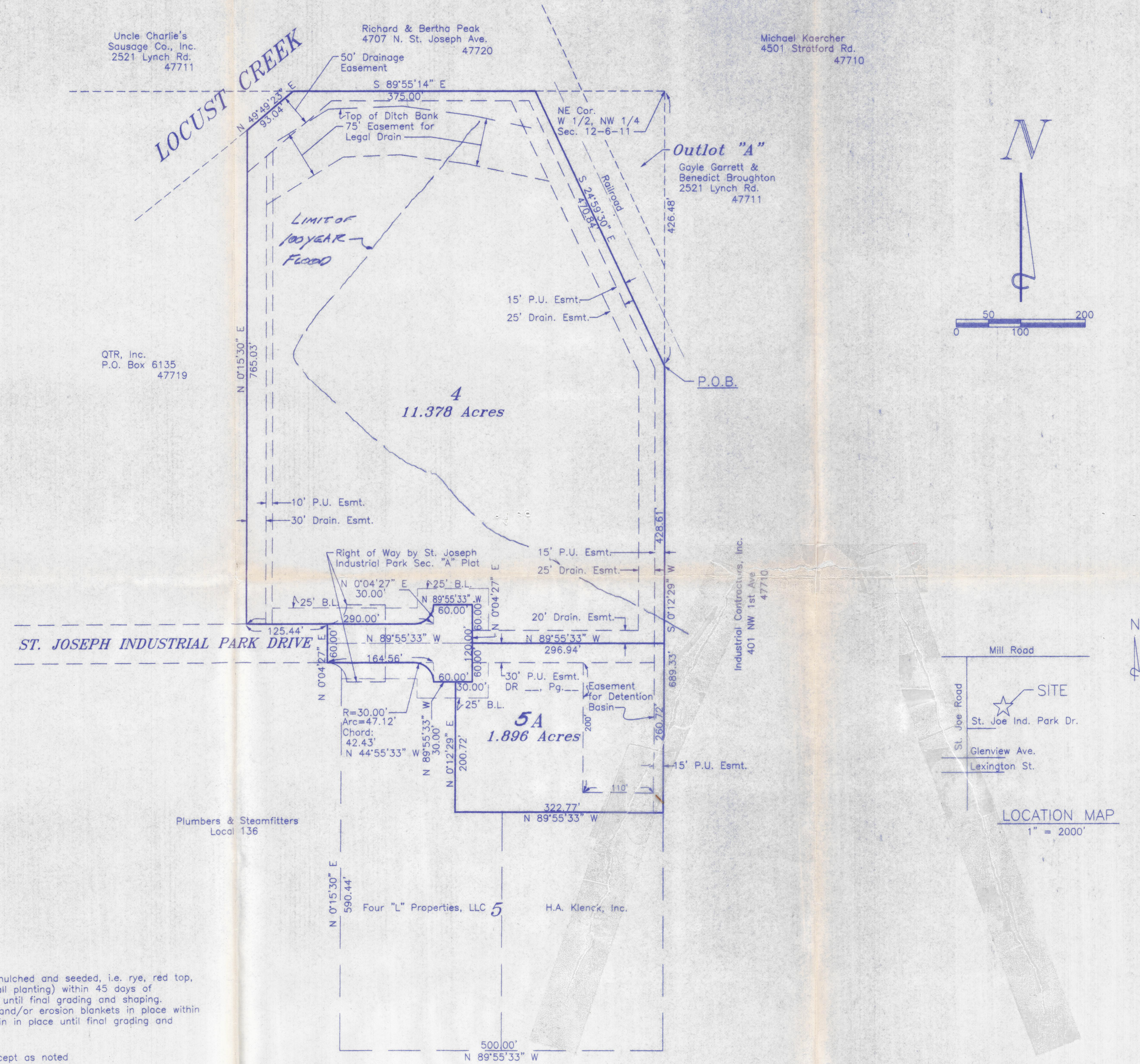


Reginald M. Heck
 Jan 16, 2018

RECEIVED BY THE
 VANDERBURGH COUNTY
 SURVEYOR'S OFFICE
 1-18-18 CA

A REPLAT OF LOT 4 AND PART OF LOT 5 IN ST. JOSEPH INDUSTRIAL PARK SECTION "A"

RECEIVED
JAN 20 1999
AREA PLAN COMMISSION



A replat of Lot 4 and part of Lot 5 in St. Joseph Industrial Park Section "A" being a subdivision of part of the West Half of the Northwest Quarter of Section 12, Township 6 South, Range 11 West, Vanderburgh County, Indiana as recorded in Plat Book "K", page 102 in the Office of the Recorder of Vanderburgh County, Indiana described as follows:

Beginning at the Northeast corner of said Lot 4 said point also being on the East line of said Half Quarter Section 426.48 feet South 0 degrees 12 minutes 29 seconds West of the Northeast corner thereof, thence continue South 0 degrees 12 minutes 29 seconds West along said East line also being the East line of said St. Joseph Industrial Park Section "A" a distance of 689.33 feet, thence North 89 degrees 55 minutes 33 seconds West a distance of 322.77 feet, thence North 0 degrees 12 minutes 29 seconds East a distance of 200.72 feet, thence North 89 degrees 55 minutes 33 seconds West a distance of 30.00 feet to a point on a curve to the left having a radius of 30.00 feet, thence Northwest along said curve a distance of 47.12 feet (having a chord of 42.43 feet at a bearing of North 44 degrees 55 minutes 33 seconds West) to the end of said curve, thence North 89 degrees 55 minutes 33 seconds West a distance of 164.56 feet, thence North 0 degrees 04 minutes 27 seconds East a distance of 60.00 feet, thence North 89 degrees 55 minutes 33 seconds West a distance of 125.44 feet to the Southwest corner of said Lot 4, thence North 0 degrees 15 minutes 30 seconds East a distance of 765.03 feet, thence North 49 degrees 49 minutes 23 seconds East a distance of 93.04 feet, thence South 89 degrees 55 minutes 14 seconds East a distance of 375.00 feet, thence South 24 degrees 59 minutes 30 seconds East a distance of 470.84 feet to the place of beginning and containing 13.675 acres more or less.

We, the undersigned owners of the real estate shown and described hereon, do hereby as shown plat and subdivide said real estate and designate same as
A Replat of Lot 4 and Part of Lot 5 in St. Joseph Industrial Park
All streets within the plat are dedicated to the public. Building setback lines are established as shown on the plat between which lines and the property of the street there shall not be erected or maintained any building or structure. Strips of ground marked "P.U. Easement" are reserved for the use of public utilities. Owners of lots shall take title subject to the rights of the public utilities in said strips of ground. Strips of ground marked "Drainage Easement" are reserved for surface water and/or subsurface water drainage. No structure shall be erected or maintained in said strips of ground. Further, no bushes, shrubs, trees, or any other obstruction that would impede the flow of surface water shall be permitted in said strips of ground. Each lot owner shall be responsible for maintenance (cutting grass and weeds, and removing any obstructions to water flow) of that portion of the drainage channels or swales on their lots.

Strips of ground, of the width shown on this plat and marked "Public Utility Easement", are hereby dedicated to public utilities for the installation, maintenance, operation, enlargement and repair of utility facilities, whether above ground or below ground, with the right to trim or remove at the discretion of the public utility, trees, overhanging branches, bushes, underbrush, and obstructions. No structure other than said utility facility shall be located within said strips of land and any fence located within said strips of land is subject to removal by a public utility, without liability, in the use of said easements by said utility.

Strips of ground marked "Drainage Easement" are dedicated for surface water and/or subsurface water drainage; provided however, that public utilities are hereby permitted to cross such Drainage Easements with public utility facilities, and provided that such facilities are not placed in such manner as to impede the flow of water and further provided that such drainage easements may be used for ingress and egress and temporary staging areas for work by public utilities.

OWNERS OF LOT 4, ORIGINAL ST. JOSEPH IND. PARK

Ken McDonald
Kewbee McDonald
3119 Graham Avenue
Evansville, Indiana 47715

OWNERS OF PART OF LOT 5, ORIGINAL ST. JOSEPH IND. PARK
Four "L" Properties, LLC

Marc D. Lampton, President
Ron Lacey, Secretary
3427 Claremont Avenue
Evansville, Indiana 47712

NOTARY CERTIFICATE
STATE OF INDIANA
COUNTY OF VANDERBURGH
Before me, the undersigned notary public for Vanderburgh County, State of Indiana, personally appeared the above signed owners of the real estate shown and described hereon and acknowledged the execution of this plat to be their voluntary act and deed.

Witness my hand and seal this _____ day of _____, 199____.
My commission expires _____ Notary Public _____
Resident of _____ County Printed _____

A.P.C. CERTIFICATE
Under the authority provided by Acts of 1981, Public Law No. 309, and enacted by the General Assembly of the State of Indiana, this plat has been given _____ approval by the Area Plan Commission of Evansville and Vanderburgh County on _____.

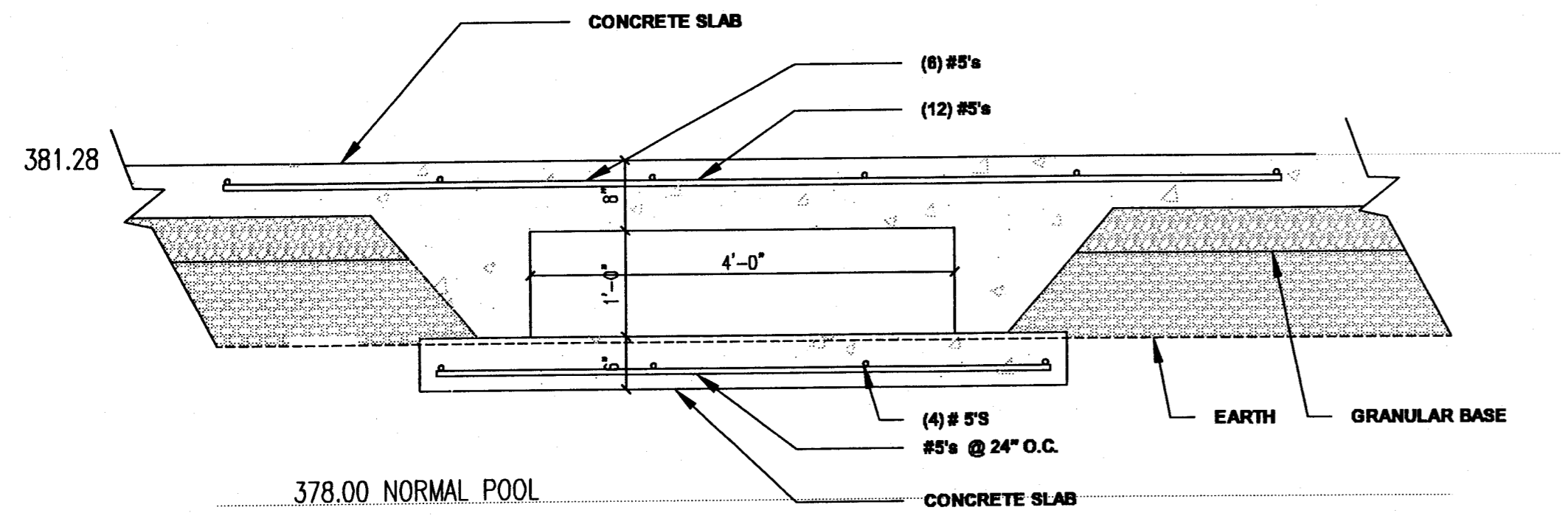
Plat Release _____
President _____
Executive Director _____
Executive Director _____

SURVEYORS CERTIFICATE
I, Billy T. Nicholson, hereby certify that I am a Land Surveyor, licensed in compliance with the laws of the State of Indiana and further certify that this plat correctly represents a survey completed by me, and that all monuments shown exist at locations as noted; that this survey was made in accordance with Title 864, Article 1.1, Chapter 8, Section 1 through 34 of the Indiana Administrative Code and accordingly under my supervision. This is a class _____ survey with a theoretical uncertainty of _____ feet as determined by Sub-Section 7d, Section 7 of subject code.

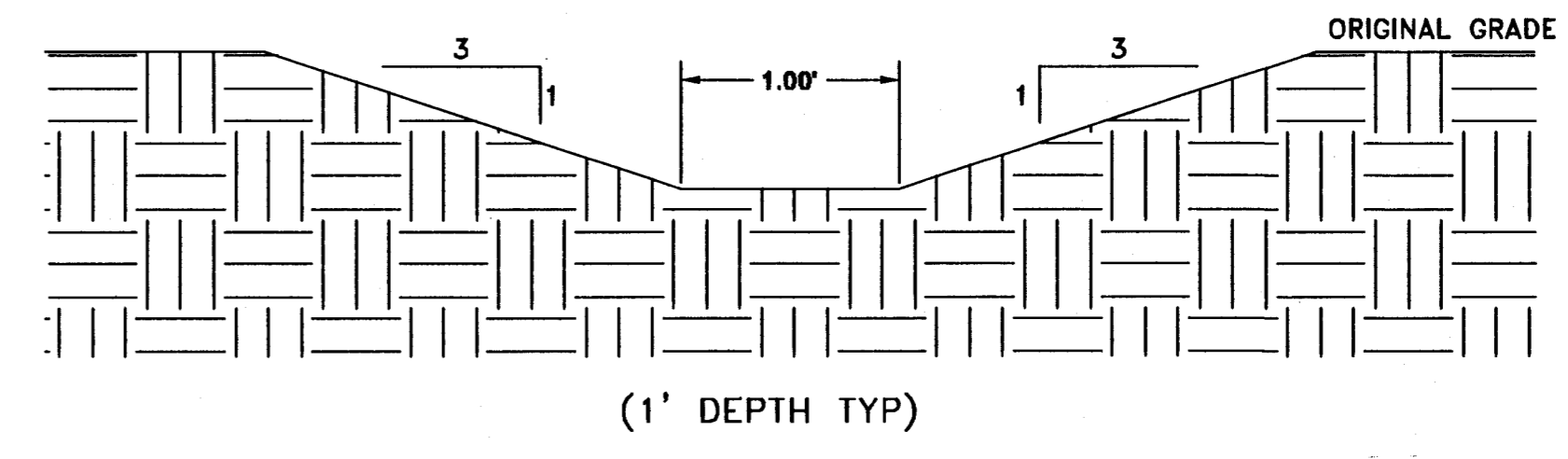
Billy T. Nicholson IN No. 7964
Date _____

VEACH, NICHOLSON ASSOCIATES
1830-A W. Franklin St. Evansville, IN 47712 (812)424-2936

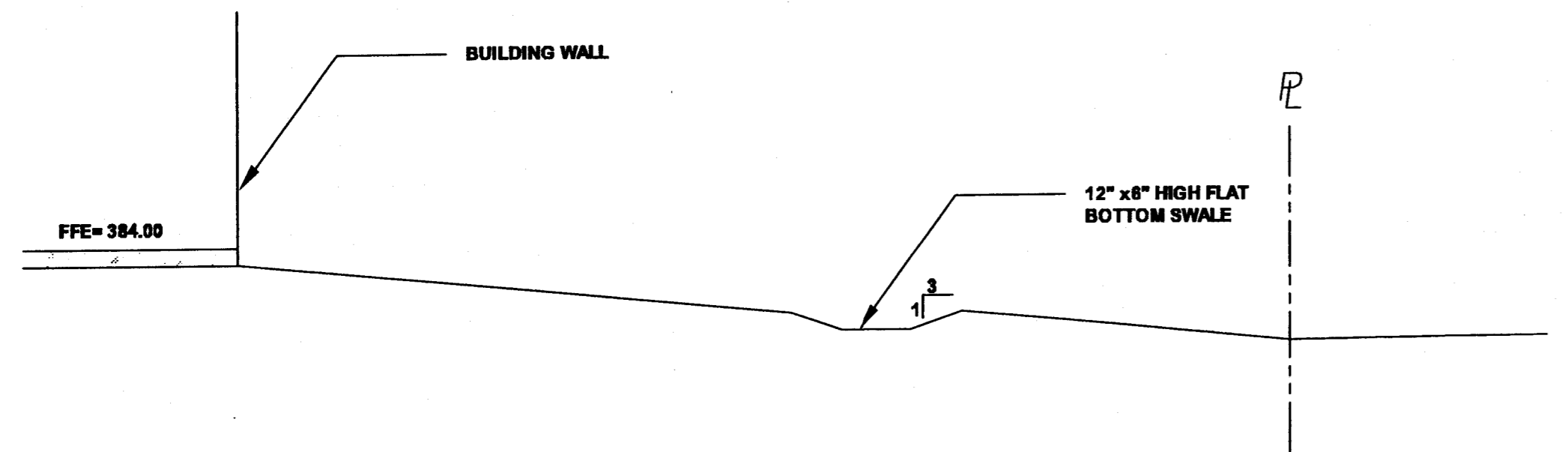
- Notes**
- Erosion control: Slopes of 0 to 6% shall be mulched and seeded, i.e. rye, red top, and wheat (which will be used primarily for fall planting) within 45 days of disturbance of soil and must remain in place until final grading and shaping. Slopes more than 6% shall have straw bales and/or erosion blankets in place within 5 days of disturbance of soil and must remain in place until final grading and shaping.
 - All Lot corners marked with 5/8" Iron Pin except as noted
 - All utilities available at site by extension
 - Drainage Plans were approved on _____
 - Street Plans were approved on _____
 - Site is partially within the 100 Year Flood Zone (Zone A) as shown on the plat according to FIRM Map Panel Number 180256 0075 C and dated August 5, 1991 Building Finished Floor Elevations to be 385.0 or above
 - Site is flat, average elevation is approximately 381.5
 - Bench Mark: Finished Floor of Steamfitters Building, Elevation 384.22



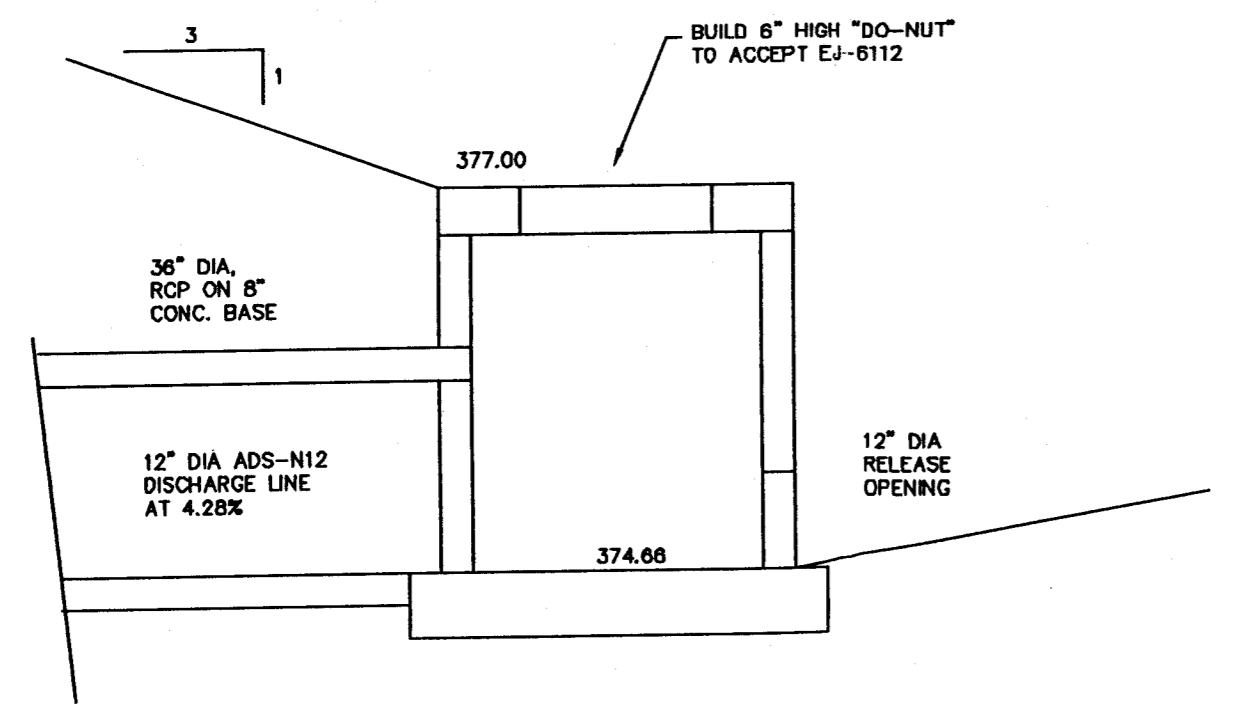
BOX CULVERT DETAIL- A-A



GRASS LINED SWALE SECTION

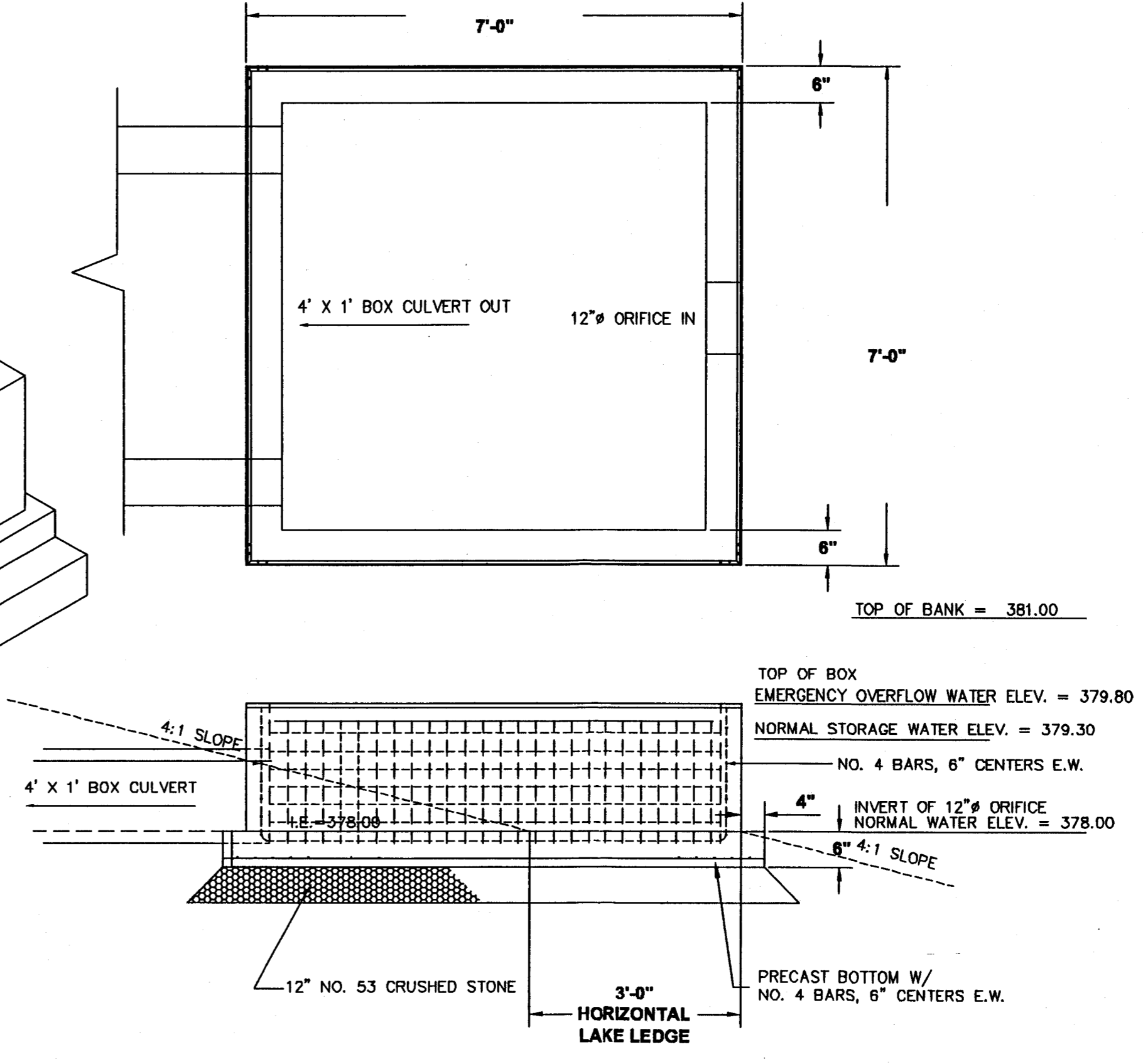
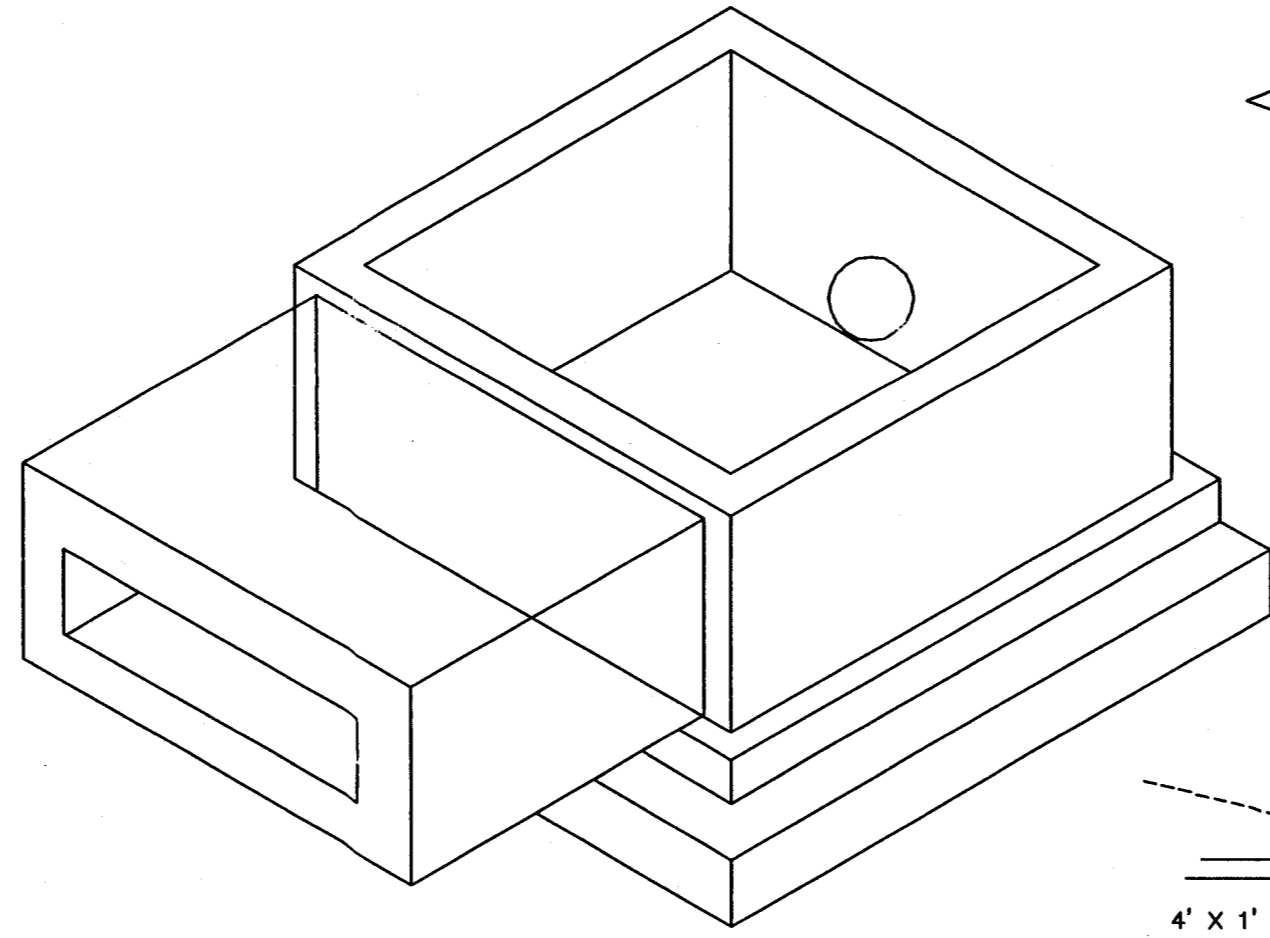


SWALE DETAIL- B-B

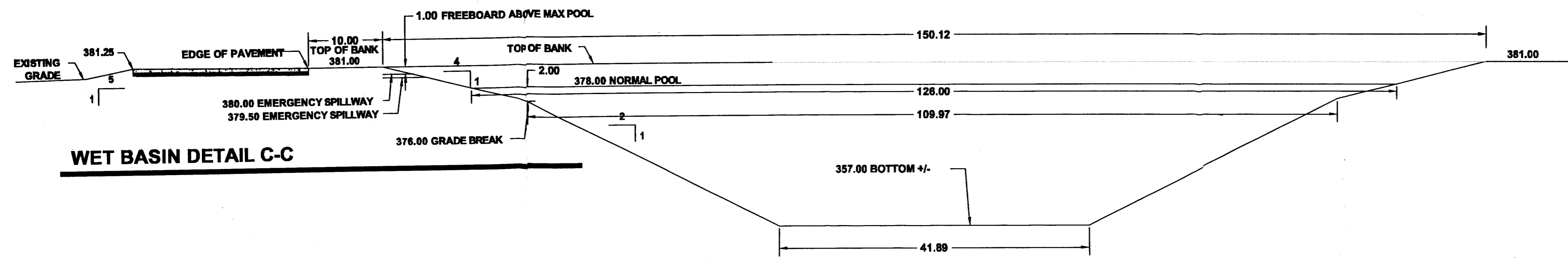


- NOTES:
1. CONCRETE FOR POURED BASE SHALL BE 3500 PSI. PRECAST CONCRETE SHALL CONFORM TO ASTM C-478.
 2. BASE MAY BE PRECAST OR POURED IN PLACE CONC. WHEN PRECAST BASE IS USED, A 6\"/>

INLET/ DISCHARGE STRUCTURE



LAKE RELEASE STRUCTURE



WET BASIN DETAIL C-C

GENERAL NOTES

1) ALL DIMENSIONS ARE TO OUTSIDE FACE OF CONSTRUCTION U.N.O.

CONSTRUCTION NOTES

AEI ANDY EASLEY ENGINEERING
 CIVIL ENGINEERING (813) 434-2481 LAND SURVEYING
 1133 WEST HILL ROAD EVANSVILLE, INDIANA 47710

RALPH A. EASLEY, P.E.
 REGISTERED PROFESSIONAL ENGINEER
 No. 12892
 STATE OF INDIANA

KUNKEL GROUP
 821 WALNUT ST EVANSVILLE, IN 47708
 915-484-0242
 888-335-8428
 WWW.KUNKELGROUP.COM

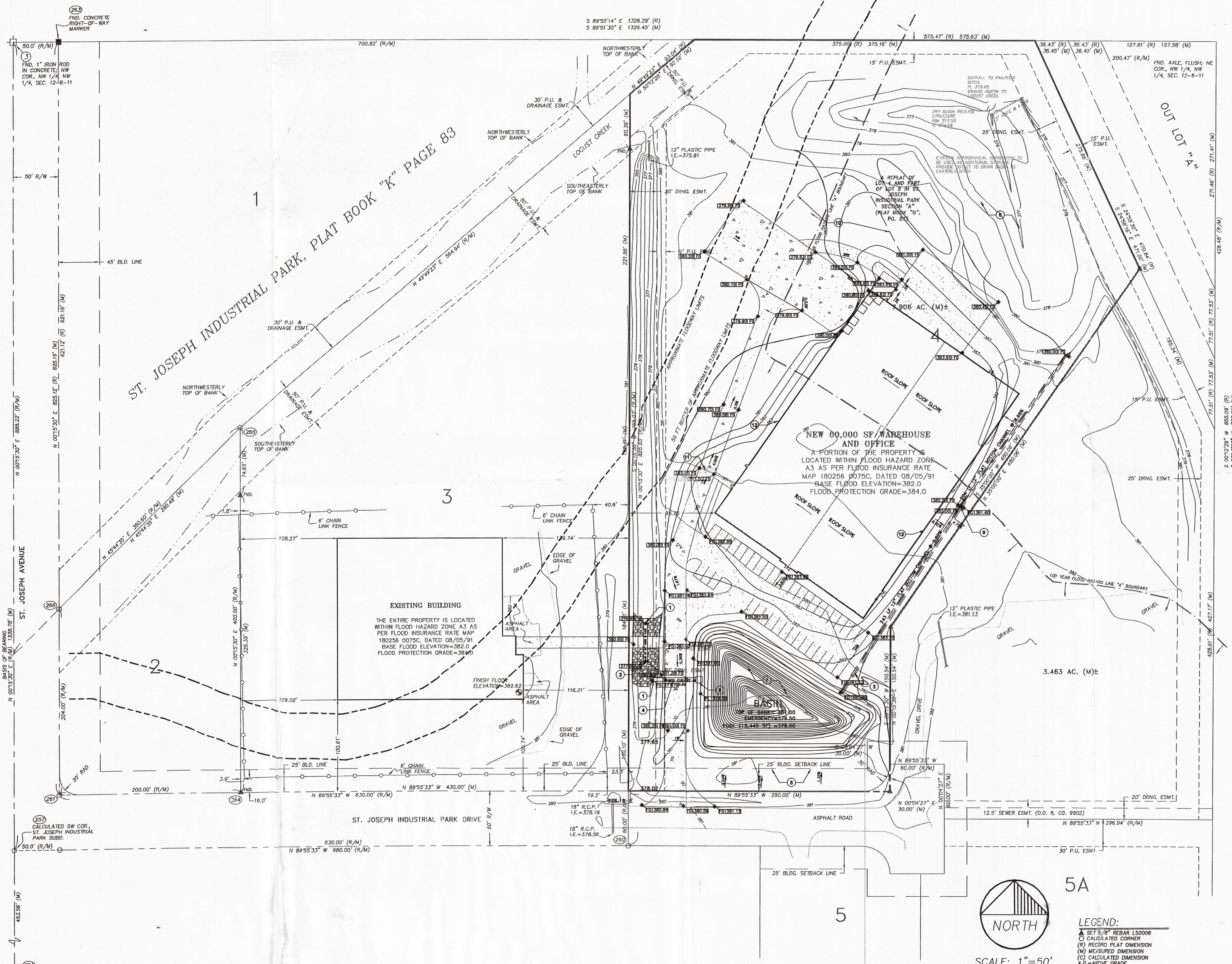
NEW OFFICE AND WAREHOUSE
 ST. JOSEPH INDUSTRIAL PARK DR.
 FOR
QTR, INC.
 2301 ST. JOSEPH INDUSTRIAL PARK DR.

DETAILS	
Date: 9/22/05	Designed By: BJK
Job number: 05-01	Checked By: BJK
C103	

11:45am
 9/22/05
 RECEIVED BY THE
 VANDEBURGH COUNTY
 SURVEYOR'S OFFICE
 1/1

ALL IDEAS, DESIGNS, AND DRAWINGS ARE PROPERTY OF THE KUNKEL GROUP, INC.

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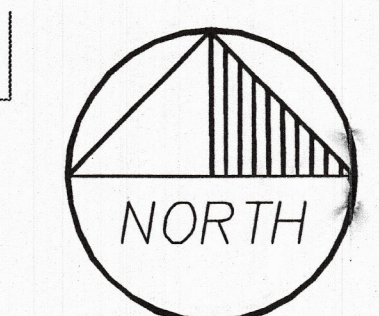


ST. JOSEPH INDUSTRIAL PARK, PLAT BOOK "K" PAGE 83

NEW 80,000 SF WAREHOUSE AND OFFICE
 A PORTION OF THE PROPERTY IS LOCATED WITHIN FLOOD HAZARD ZONE A3 AS PER FLOOD INSURANCE RATE MAP 180256 0075C, DATED 08/05/91. BASE FLOOD ELEVATION=382.0. FLOOD PROTECTION GRADE=384.0

EXISTING BUILDING
 THE ENTIRE PROPERTY IS LOCATED WITHIN FLOOD HAZARD ZONE A3 AS PER FLOOD INSURANCE RATE MAP 180256 0075C, DATED 08/05/91. BASE FLOOD ELEVATION=382.0. FLOOD PROTECTION GRADE=384.0

GRADING & DRAINAGE PLAN



SCALE: 1"=50'

- LEGEND:**
- ▲ SET 5/8" REBAR L5006
 - CALCULATED CORNER
 - (R) RECORD PLAT DIMENSION
 - (M) MEASURED DIMENSION
 - (C) CALCULATED DIMENSION
 - A.G.=ABOVE GRADE
 - B.G.=BELOW GRADE
 - FND.=FOUND

KEYNOTES

1) ALL DIMENSIONS ARE TO OUTSIDE FACE OF CONSTRUCTION U.I.G.

GENERAL NOTES

1) RIP RAP EROSION PROTECTION AT DISCHARGE END OF PIPE TO PROTECT STREAM AND BANK

2) RIP RAP EROSION PROTECTION AT INTAKE END OF PIPE TO PROTECT STREAM AND BANK

3) NEW SWALE - SIMILAR TO SECTION B-8 ON C103

4) NEW BOX CULVERT - SEE SECTION A-A ON C103

5) GRADE TO DETENTION BASIN

6) NEW DRY DETENTION BASIN - SEE RELEASE STRUCTURE DETAIL ON C103

7) NEW WET DETENTION BASIN - SEE SECTION C-C ON C103

8) EMERGENCY SPILLWAY. SEE C103 FOR DETAIL

9) HIGH POINT IN SWALE. SEE SECTION B-8 ON C103 FOR SWALE DETAIL

10) THIS AREA IS TO BE PAVED IN LIEU OF AREA OUTSIDE OF FLOODWAY BUFFER LINE IF IDNR PERMIT IS NOT ISSUED FOR SAID AREA.

11) HIGH POINT. ROUTE WATER TO DRY BASIN TO NORTH OR WET BASIN TO SOUTH.

12) DOWNSPOUTS SLASH TO GRADE ON CONCRETE SLASH BLOCK (TYPICAL)

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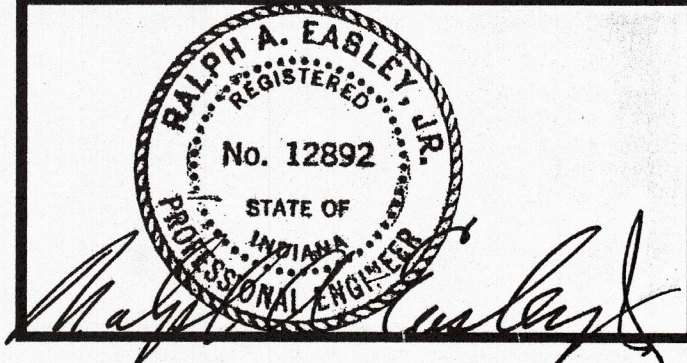
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ANDY EASLEY ENGINEERING
 CIVIL ENGINEERING (812) 424-3461 LAND SURVEYING
 1133 WEST HILL ROAD EVANSVILLE, INDIANA 47710



KUNDEL
 CIVIL ENGINEERING
 621 WALNUT ST EVANSVILLE, IN 47408
 812-424-0042
 812-330-6408
 WWW.KUNDELGROUP.COM

NEW OFFICE AND WAREHOUSE
 ST. JOSEPH INDUSTRIAL PARK DR.
 For
QTR, INC.
 2301 ST. JOSEPH INDUSTRIAL PARK DR.

Sheet Name GRADING & DRAINAGE PLAN	
Date 9/21/05 5:20 PM	Designed By BJK
Job number 05-01	Checked By BJK
C102	

ST. JOSEPH INDUSTRIAL PK.
 Lot 4 Lot 5

9/22/05
 RECEIVED BY THE
 VANDERBURGH COUNTY
 SURVEYOR'S OFFICE
 11-4-05