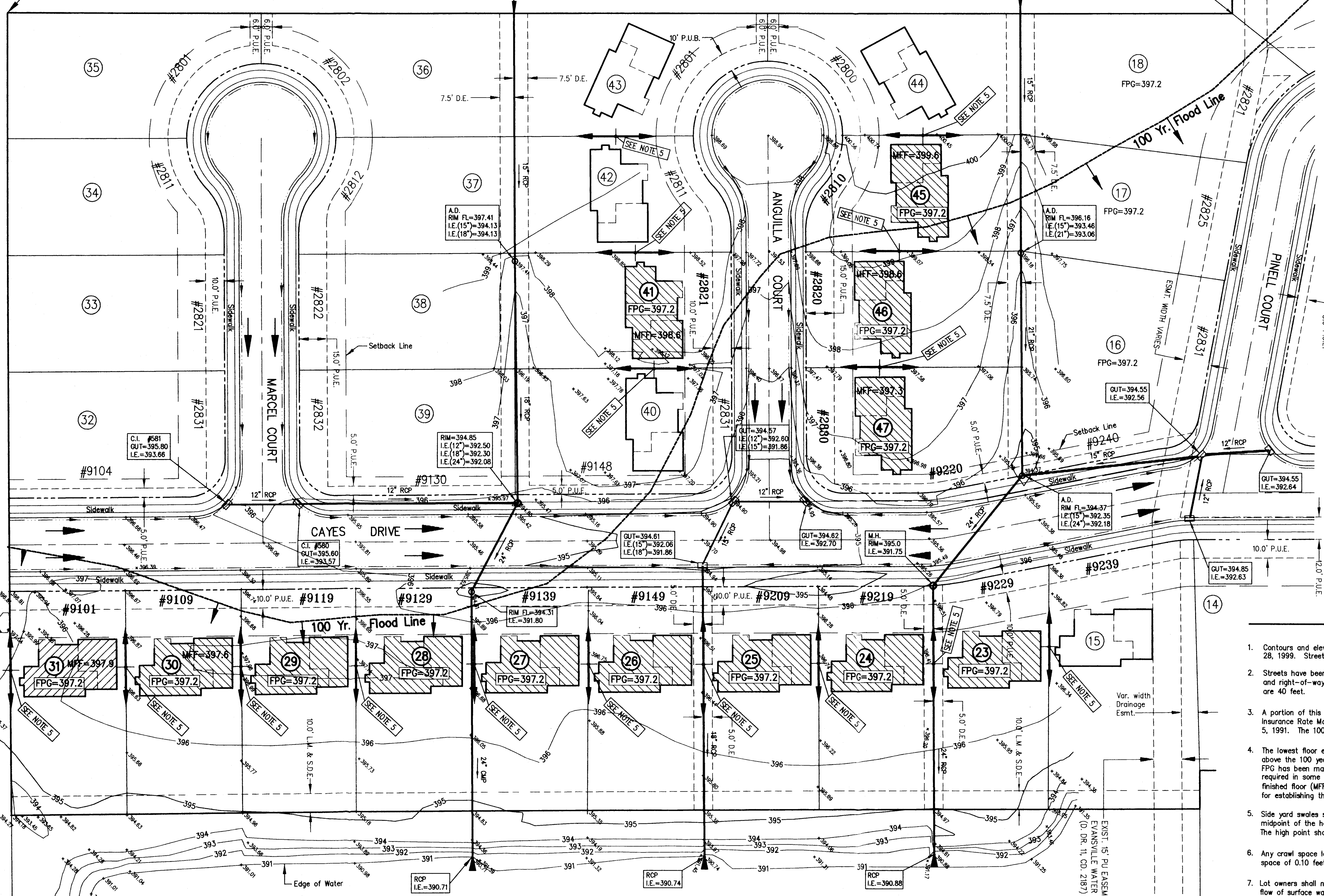


Standard Grading Plan Dwelling or Accessory Structures

No Scale



Legend

- XXXXX Existing surface elevation.
- AD Area Drain
- Rim=XXX.XX Elevation of top of area drain rim or the front of grate at curb inlets.
- I.E.=XXX.XX Invert elevations of underground storm pipe.
- XXXX Indicates contour elevations as surveyed, April 28, 1999.
- Building Setback
- Easement line
- D.E. Drainage Easement
- P.U.E. Public Utility Easement
- L.M. & S.D.E. Lake maintenance and Storm Detention Easement

Bench Mark Data

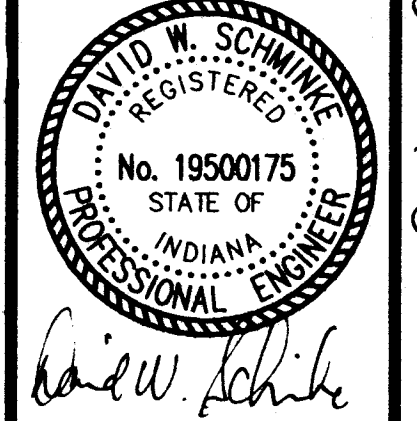
Reference Bench Mark (ELEVATION = 398.14)
Southeast anchor bolt on north rail, at Kansas Road.
Bridge located 700' west of Hwy. 57

- #### General Notes
- Contours and elevations shown are results from field surveys performed by Morley and Associates, Inc. on April 28, 1999. Streets, storm sewers, sanitary sewers and water main construction were completed prior to these surveys.
 - Streets have been constructed with hot bituminous asphalt pavement. Through streets are 29 feet back of curb and right-of-way widths are 50 feet. Cul-De-Sacs are 24 feet back of curb to back of curb and right-of-way widths are 40 feet.
 - A portion of this subdivision lies within the boundaries of the 100 year flood (Zone A) as plotted by scale on Flood Insurance Rate Map for Vanderburgh County, Indiana, Community Panel Number 180256 0025 C, dated August 5, 1991. The 100 year flood elevation shown thereon is 395.2.
 - The lowest floor elevations of any enclosed space (including the garage or basement) must be at least two feet above the 100 year flood elevation. This minimum floor elevation is called the flood protection grade (FPG). FPG has been marked on all lots near or within the 100 year flood plain. Higher finished floor elevations are required in some instances in order to provide positive drainage to established swales and streets. Minimum finished floor (MFF) elevations are shown on lots requiring elevations above the established FPG. Requirements for establishing the actual finished floor shall be based on the standard grading plan shown above.
 - Side yard swales shall be required between each lot as detailed above. The high point should be near the midpoint of the house and drain toward the top of curb in the front and towards the rear lot corner in the back. The high point should be at least 9" below the finished floor. All swales should maintain a minimum 1 percent slope.
 - Any crawl space located on a lot with FPG designation shall maintain an elevation at the lowest point in the crawl space of 0.10 feet above the 100 year flood elevation. Said minimum elevation is 395.3 or greater.
 - Lot owners shall not construct or place any obstruction within drainage easements which will interfere with the flow of surface water along drainage easements.

Morley and Associates, Inc.
Consulting Engineers/Surveyors/Architects
600 S.E. 8th Street
Evansville, Indiana 47713
(812) 464-9565

All measurements, calculations, and designations indicated on this plan were made by the undersigned, in connection with the specified project. None of such data, information, or designations were obtained from any other person, firm, or corporation for any purpose whatsoever without the written permission of Morley and Associates, Inc. The dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and Morley and Associates, Inc. shall not be liable for any variations from the dimensions and conditions shown on these drawings.

No.	By	Date	Description



Project: Jages Land Corp.
Lots 23-31, 41, 45-47
Camden Farms
Sheet Title: Site Grading Plan
Scale: 1" = 30'
Designed By: D.W.S. Job Number: 4314-4 (A)
Drawn By: D.W.N. Date: 6/04/99
Checked By: File Name: 4314SITE.dwg
Sheet Number: 1

Camden Farms